

# BASECAMP LOFTS + STUDIOS

FRISCO, COLORADO

## 22 UNIT BUILDING



### PROJECT DETAILS

#### PROJECT DESCRIPTION

PROJECT CONTAINS 2 MULTI-FAMILY BUILDINGS WITH 29 RESIDENTIAL UNITS, 1 ON-SITE OFFICE UNIT, COVERED & UNCOVERED PARKING, TRASH ENCLOSURES, AND A PUBLIC COURTYARD.

#### PERMIT DESCRIPTION

THIS BUILDING PERMIT IS FOR THE 22 UNIT MULTI-FAMILY BUILDING, 10208 SF, ON THE NORTH SIDE OF THE SITE.

#### ADDRESS

105 LUSHER COURT FRISCO CO 80443

#### LEGAL DESCRIPTION

LOT 1 BLOCK A DISCOVERY INTERCHANGE WEST SUB  
ZONING DISTRICT: GW - GATEWAY COMMERCIAL

#### PLANNING APPROVAL

FILE NO. MAJ-22-0001 AND CU-22-0001

### GENERAL NOTES

1. CODES HAVING JURISDICTION SHALL BE STRICTLY OBSERVED IN THE CONSTRUCTION OF THE PROJECT. ALL APPLICABLE STATE, COUNTY, AND CITY REQUIREMENTS REGARDING BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE CODES SHALL BE VERIFIED BY THE SUBCONTRACTORS BEFORE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE CODE REQUIREMENT AND THE DRAWINGS SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
2. CONTACT THE OWNER FOR CLARIFICATION OF ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS. ANY CHANGES TO THE CONTRACT DOCUMENTS SHALL BE REVIEWED AND APPROVED BY THE OWNER & ARCHITECT PRIOR TO ANY CONSTRUCTION.
3. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL OF THE NECESSARY INFORMATION REQUIRED TO COMPLETE A MAJORITY OF THE WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ALL CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND / OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR NEGLECTED IN THE DOCUMENTS.
4. ANY DISCREPANCY FOUND BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
5. SHOP DRAWINGS MAY BE SUBMITTED TO THE ARCHITECT FOR THEIR REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK BEGINS, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS AND BE SUBJECT TO REPLACEMENT AS DEEMED NECESSARY BY THE ARCHITECT.
6. CONTRACTOR AND APPLICABLE TRADES WORKING ON THE JOB SHALL CONSULT WITH AND FOLLOW PREPARED SOILS REPORT RECOMMENDATIONS.
7. CONTRACTOR TO COORDINATE TOP OF FOUNDATION WALL ELEVATIONS WITH INFORMATION INDICATED ON THESE DRAWINGS, STRUCTURAL ENGINEER'S FOUNDATION PLANS AND FINAL SITE GRADING.
8. PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION PER SOILS REPORT RECOMMENDATIONS.
9. DO NOT SCALE DRAWINGS.
10. ALL DIMENSIONS ARE TO ROUGH FACE OF STUDS UNLESS INDICATED OR NOTED OTHERWISE.
11. FRAMING CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ALL SUBCONTRACTORS TO DETERMINE THE LOCATION OF ALL FIXTURES, APPLIED TREATMENTS, EQUIPMENT, HARDWARE ITEMS, ETC., AND PROVIDE THE SOLID STRUCTURAL BLOCKING AND/OR EXTRA FRAMING NECESSARY FOR SAFE AND SOUND ANCHORAGE AND/OR SUPPORT.
12. CEMENTITIOUS WALL BOARD SHALL BE USED AT ALL WET AREAS AS REQUIRED BY BUILDING CODE.
13. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERNS SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.
14. VERIFY ALL LOCATIONS, SPANS AND SPACING OF BEAMS, BEARING WALLS, POINT LOADS, JOISTS, RAFTERS AND TRUSSES WITH STRUCTURAL ENGINEER'S DRAWINGS AND CALCULATIONS.
15. VERIFY ALL FINISHED EGRESS WINDOW SILLS AT BEDROOMS ARE 36" MIN. ABOVE FINISHED FLOOR & MAX OF 42" ABOVE FINISHED FLOOR.
16. VERIFY ALL FINISHED EGRESS WINDOW HAVE COMPLIANT OPENING HARDWARE.
17. ALL FINISHED MATERIALS USED WITHIN BUILDING SHALL COMPLY WITH IRC SECTIONS, PLANS AND ELEVATIONS ARE DIAGRAMATIC. REFER TO DETAILS AND SPECIFICATIONS FOR ALL SPECIFIC ASSEMBLIES, DIMENSIONS AND MATERIALS. IN THE EVENT OF A DISCREPANCY BETWEEN DOCUMENTS, NOTIFY THE ARCHITECT FOR CLARIFICATION.
18. ALL INTERIOR DOORS TO BE PLACED 6" FROM PERPENDICULAR WALL @ HINGE SIDE UNLESS OTHERWISE NOTED.

### PROJECT DIRECTORY

#### OWNER

ALPINE INN, LLC  
PO BOX 4473  
FRISCO, CO 80443  
CONTACT: LESTER WARPECHA

#### DEVELOPER

BASECAMP RESIDENCES, LLC  
777 PEARL STREET SUITE 200  
BOULDER, CO 80302  
PHONE: 225-276-1992  
CONTACT: MICHAEL MARCHAND

#### ARCHITECT

PEL-ONA ARCHITECTS & URBANISTS  
4696 BROADWAY  
BOULDER, CO 80304  
PHONE: 303-443-7876  
CONTACT: RONNIE PELUSIO

WOLFF LYON ARCHITECTS  
777 PEARL STREET, SUITE 210  
BOULDER, CO 80302  
PHONE 303-447-2786  
CONTACT: TOM LYON

#### GENERAL CONTRACTOR

TRADITIONAL NEIGHBORHOOD  
DEVELOPERS, INC.  
777 PEARL STREET SUITE 200  
BOULDER, COLORADO 80302  
PHONE: 970-261-7700  
CONTACT: DAVID O'NEIL

#### STRUCTURAL

ON SITE STRUCTURAL ENGINEERING, LLC  
1255 CIMARRON DRIVE, SUITE 202  
LAFAYETTE, CO 80026  
PHONE: 720-341-7093  
CONTACT: JONATHAN WALLACE, PE

#### MEP ENGINEER

BOULDER ENGINEERING  
1717 15TH STREET  
BOULDER, CO 80302  
PHONE: 303-444-6038  
CONTACT: ETHAN MILEY

#### CIVIL ENGINEER

CIVIL INSIGHTS, LLC  
235 SOUTH RIDGE STREET,  
SUITE 2A, PO BOX 7844  
BRECKENRIDGE, CO 80424  
PHONE: 970-771-2940  
CONTACT: DON LEINWEBER, PE

#### LANDSCAPE ARCHITECT

NORRIS DESIGN  
PO BOX 2320  
409 EAST MAIN STREET,  
SUITE 207  
FRISCO, CO 80443  
PHONE: 970-368-7068  
CONTACT: MEGAN TESTIN

### VICINITY MAP



TRADITIONAL NEIGHBORHOOD  
DEVELOPERS, INC.

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#### DEVELOPER

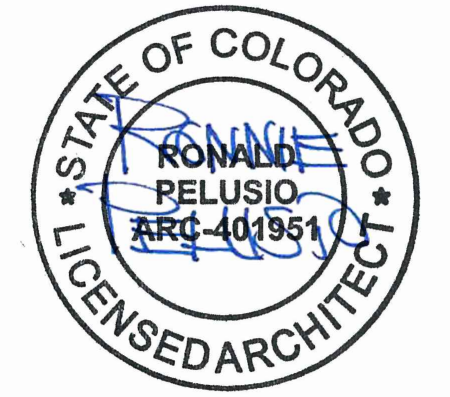
BASECAMP RESIDENCES, LLC  
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EMAIL: Rronnie@Pel-Ona.com

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#### ISSUES AND REVISIONS

DATE DESCRIPTION

DATE	DESCRIPTION

#### COVER SHEET

# A0.0

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DEVELOPERS, INC.

DATE: 02-15-2023

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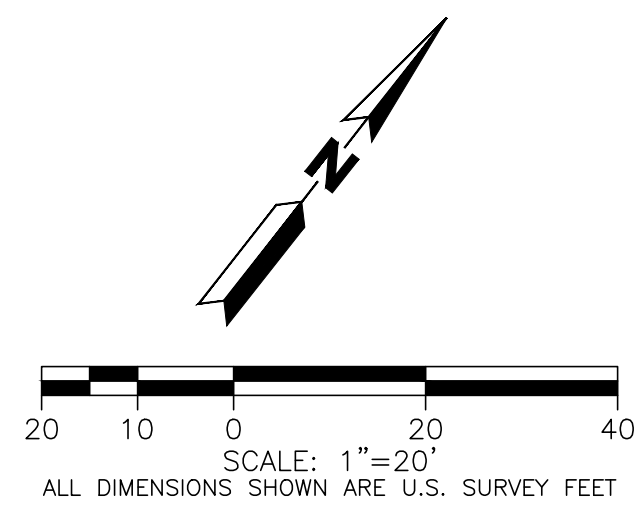
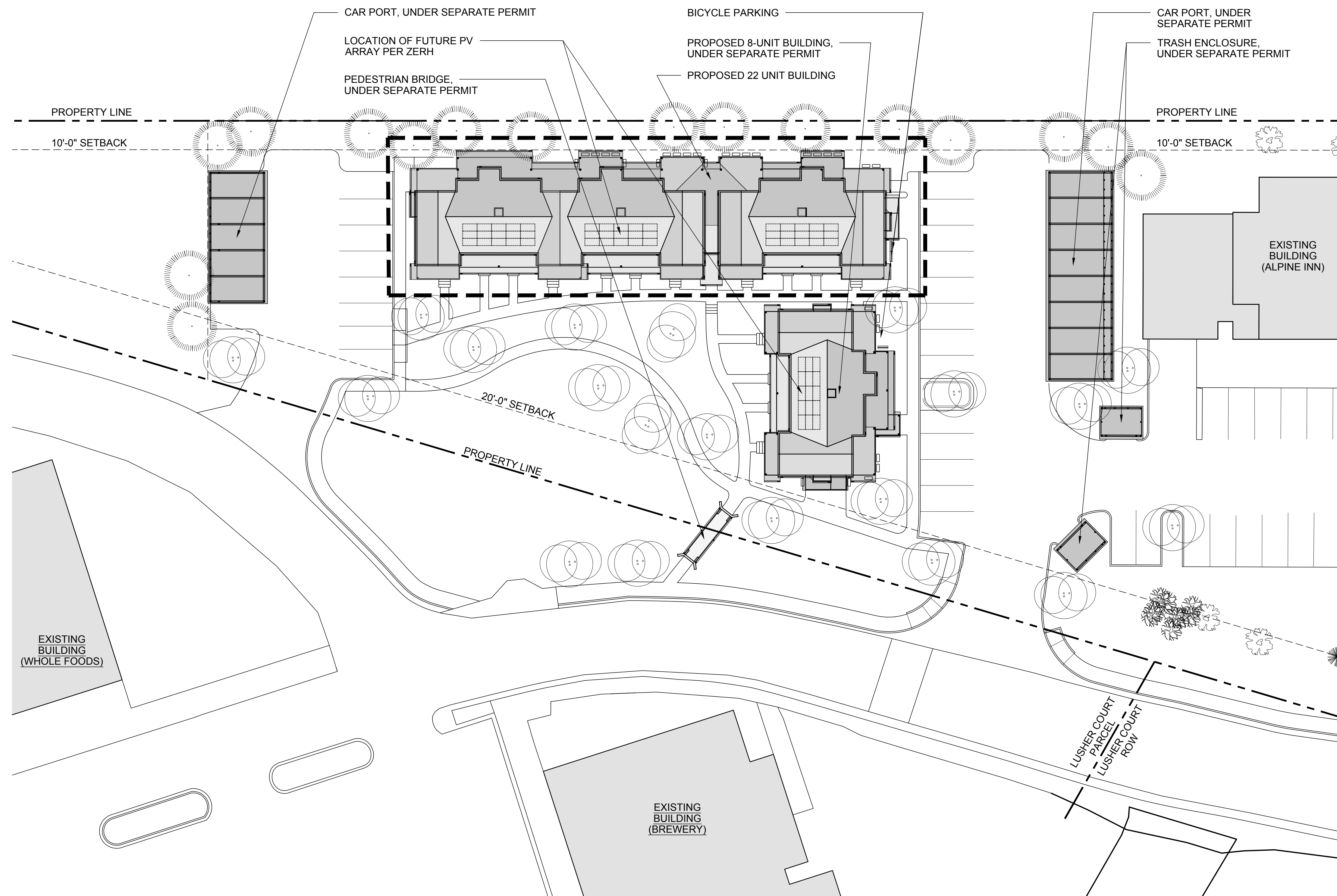
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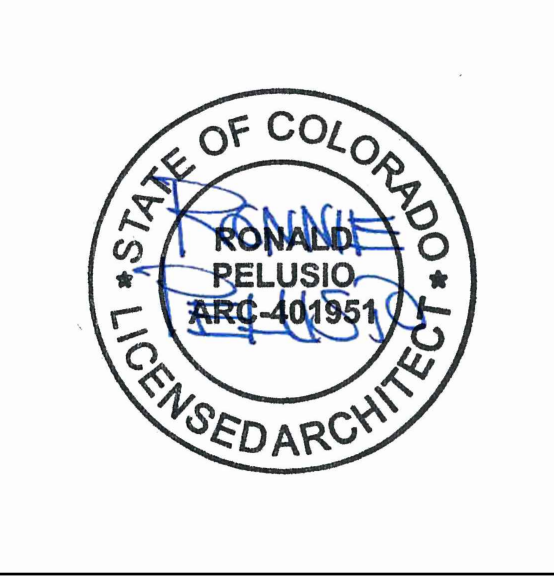
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CONTACT: TOM LYON  
EMAIL: Tom@wlyarch.com



NOTE: SEE CIVIL DRAWINGS FOR COMPLETE SITE INFORMATION, IE. UTILITY LOCATIONS, SITE GRADING, ETC.

**SITE PLAN**  
1" = 20'-0"

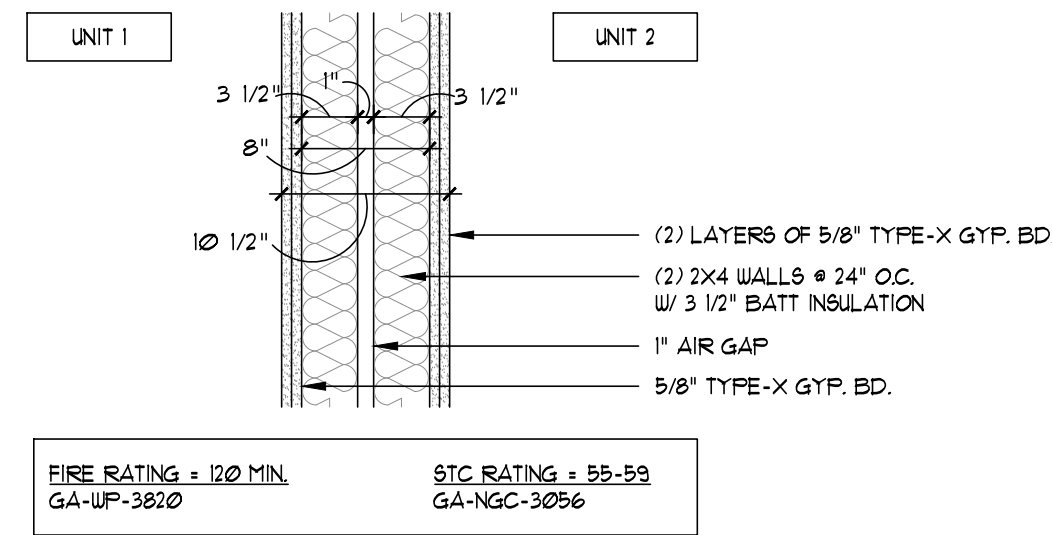


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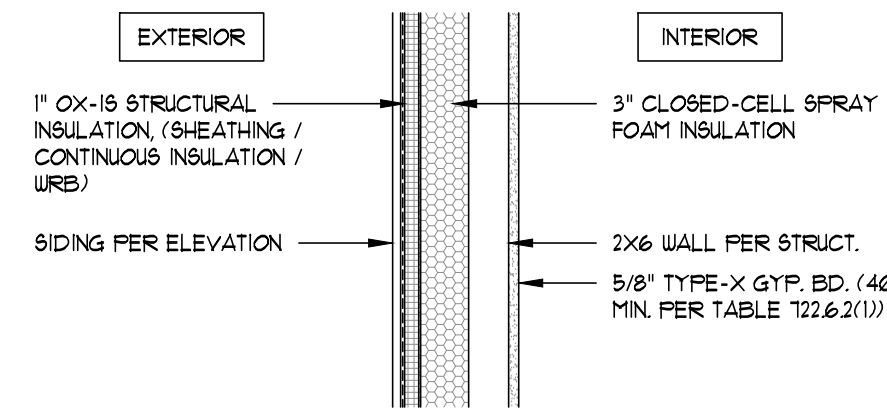
ISSUES AND REVISIONS	DATE	DESCRIPTION

**SITE PLAN**  
**A0.1**  
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DATE: 02-15-2023

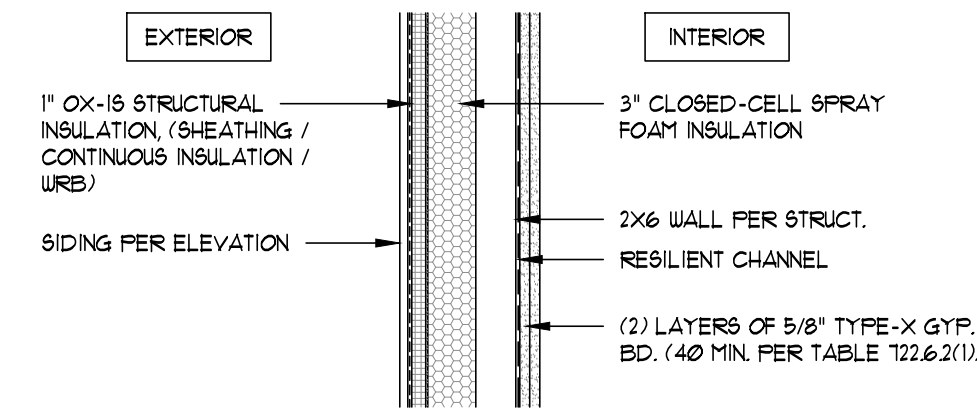




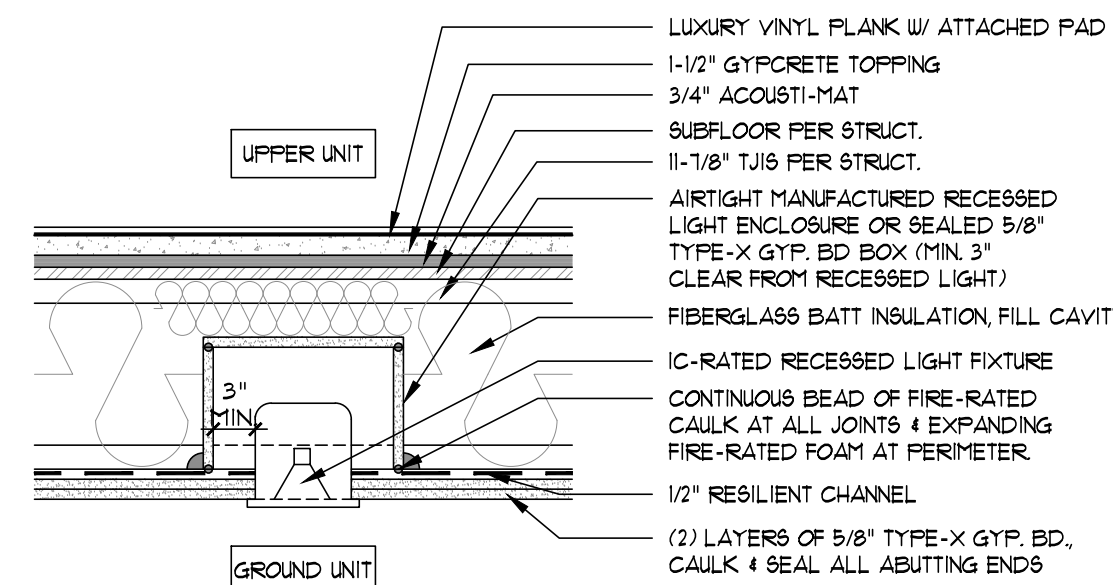
**W1 TYP. DEMISING WALL BETWEEN UNITS**  
SCALE: 1"=1'-0"



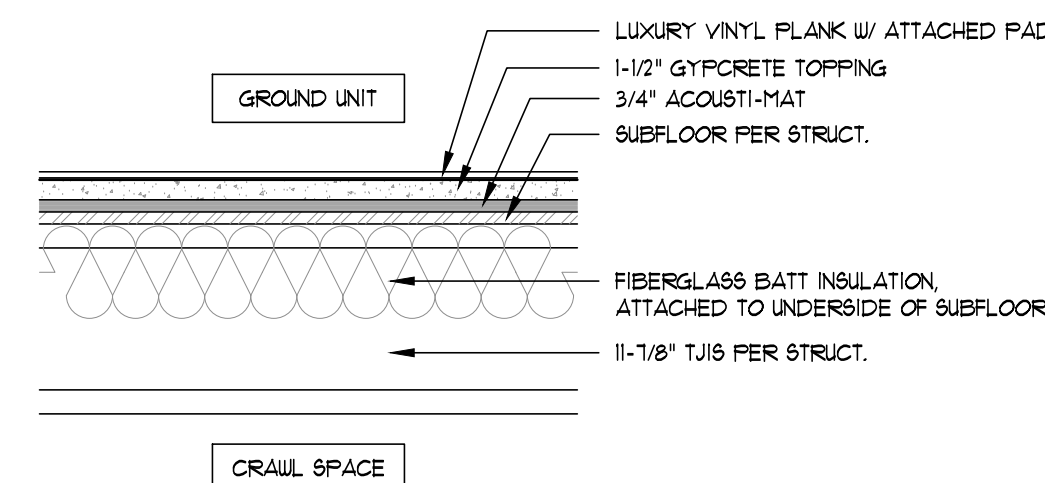
**W2 TYP. EXTERIOR WALL - A**  
SCALE: 1"=1'-0"



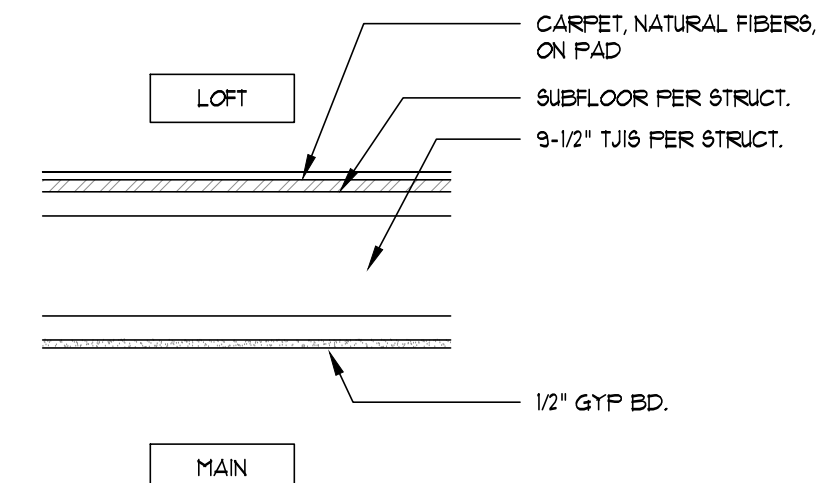
**W3 TYP. EXT. WALL - B**  
SCALE: 1"=1'-0"



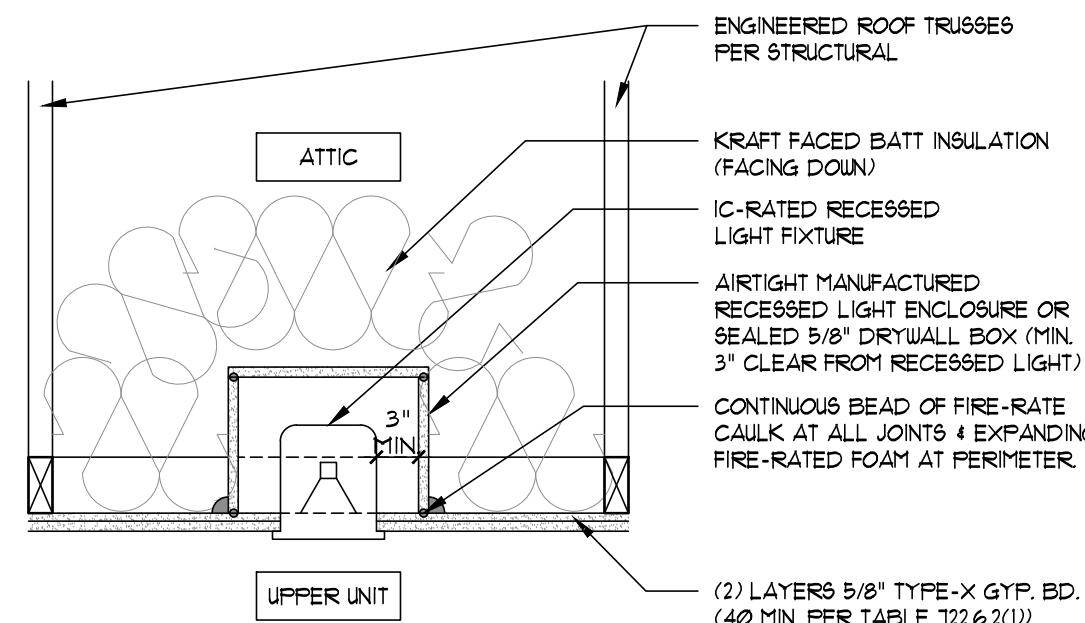
**F1 TYP. FLOOR BETWEEN UNITS**  
SCALE: 1"=1'-0"



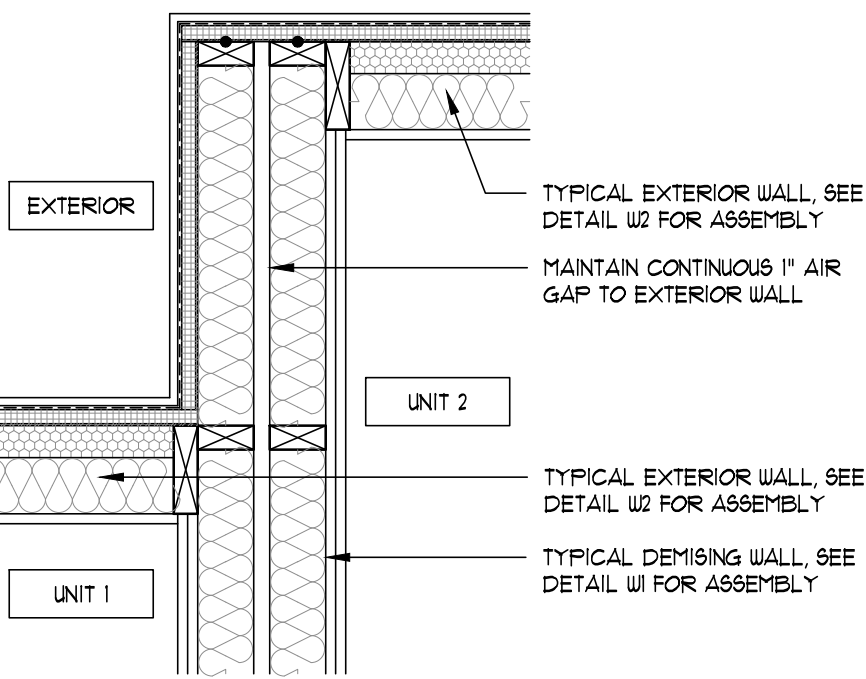
**F2 TYP. FLOOR OVER CRAWL**  
SCALE: 1"=1'-0"



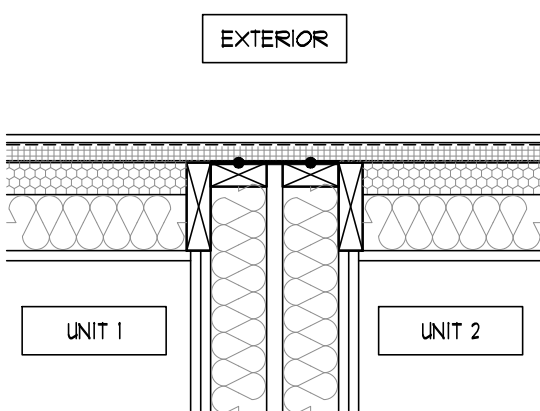
**F3 TYP. FLOOR AT LOFT**  
SCALE: 1"=1'-0"



**F4 TYP. CEILING AT UPPER UNIT**  
SCALE: 1"=1'-0"



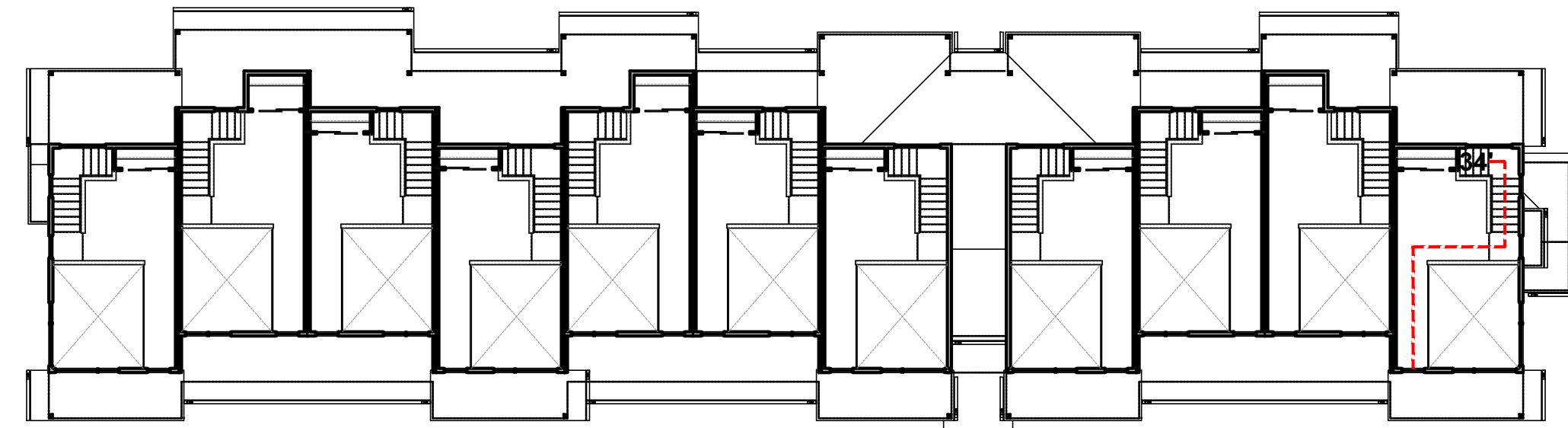
**D1 DEMISING WALL PLAN DETAIL**  
SCALE: 1"=1'-0"



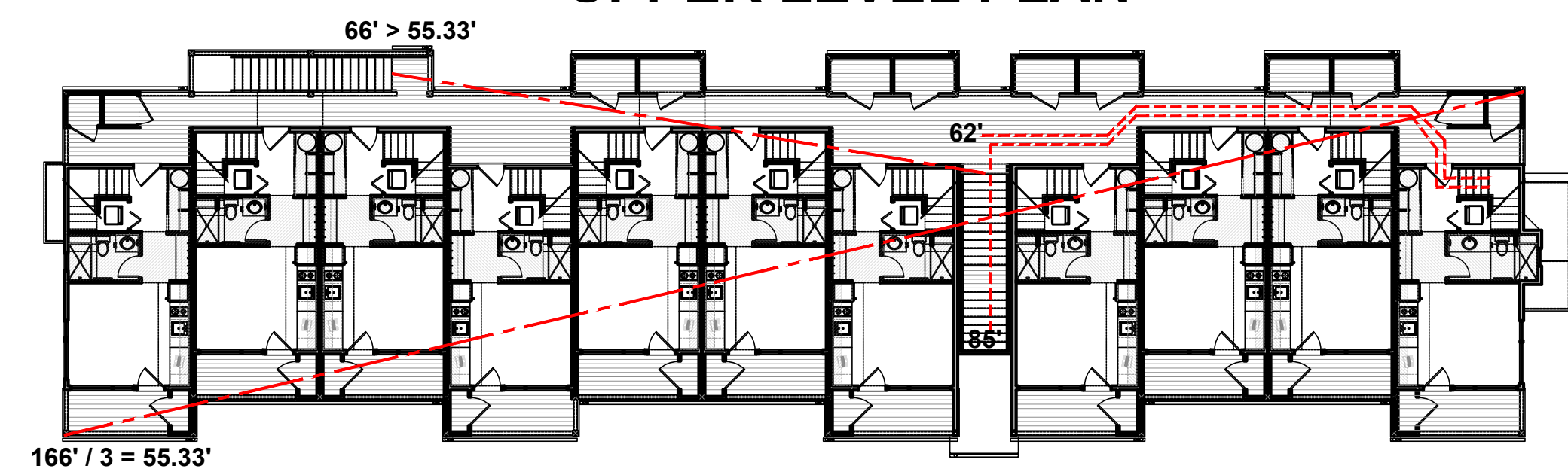
**D2 DEMISING WALL PLAN DETAIL**  
SCALE: 1"=1'-0"

**MAX EXIT ACCESS TRAVEL DISTANCE (EATD) = 250'**  
 GROUND LVL UNIT - 29/90'  
 UPPER LVL UNIT - 34' + 85' + 10' = 129'  
**MAX COMMON PARTH OF EGRESS TRAVEL (CPET) - 125'**  
 GROUND LVL UNIT - N/A  
 UPPER LVL UNIT - 34' + 62' = 96'  
 SEPARATION OF EXITS = 166' (DIAGONAL) / 3 = 55.33 < 66' (SEPARATION OF STAIR)

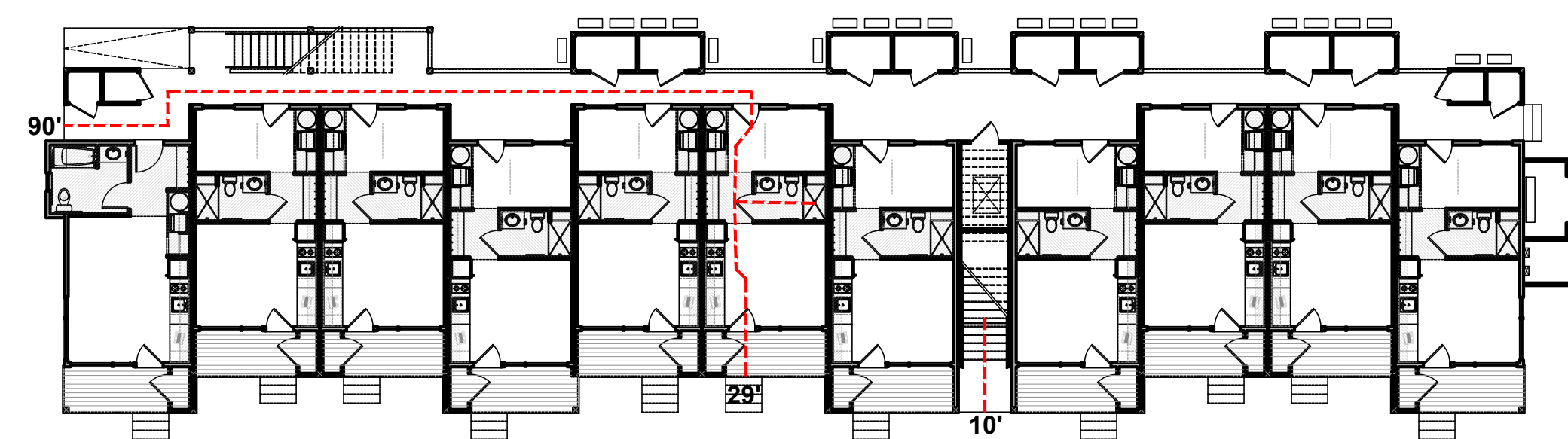
**UPPER LEVEL LOFT PLAN**



**UPPER LEVEL PLAN**



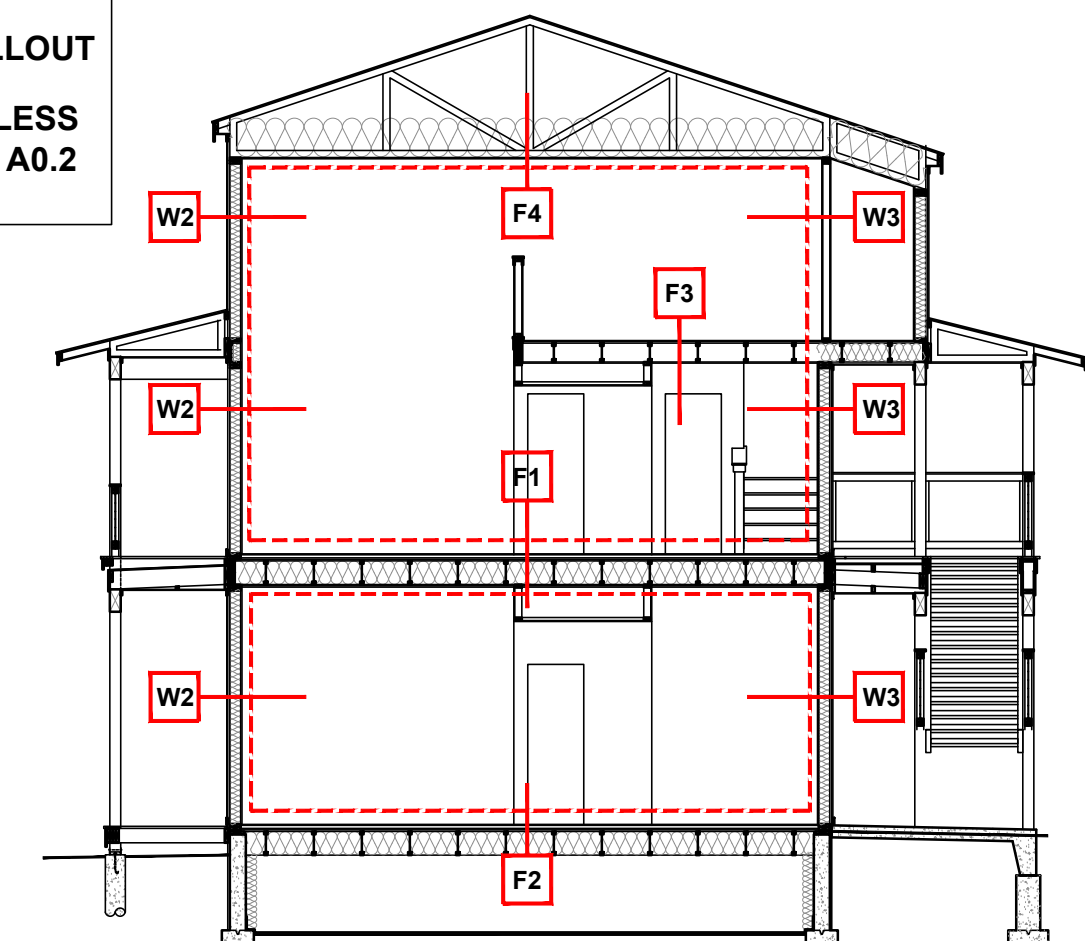
**GROUND LEVEL PLAN**



**EXIT DISTANCE DIAGRAMS**

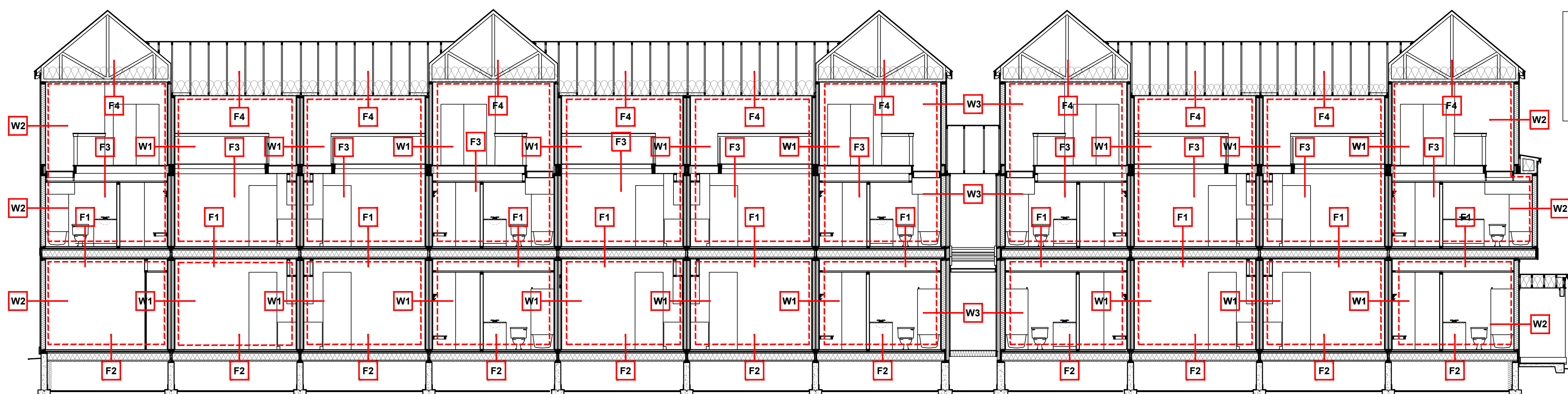
SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)

--- LINE OF SEPARATION  
 xx --- ASSEMBLY CALLOUT  
 \*1/2 HOUR REQUIRED UNLESS OTHERWISE NOTED, SEE A0.2 FOR DETAILS



**WALL, FLOOR, & CEILING ASSEMBLIES**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



**FIRE SEPARATION DIAGRAMS**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



TRADITIONAL NEIGHBORHOOD DEVELOPERS, INC.

OWNER

ALPINE INN, LLC  
 PO BOX 4473  
 FRISCO, CO 80443  
 CONTACT: LESTER WARPECHA

DEVELOPER

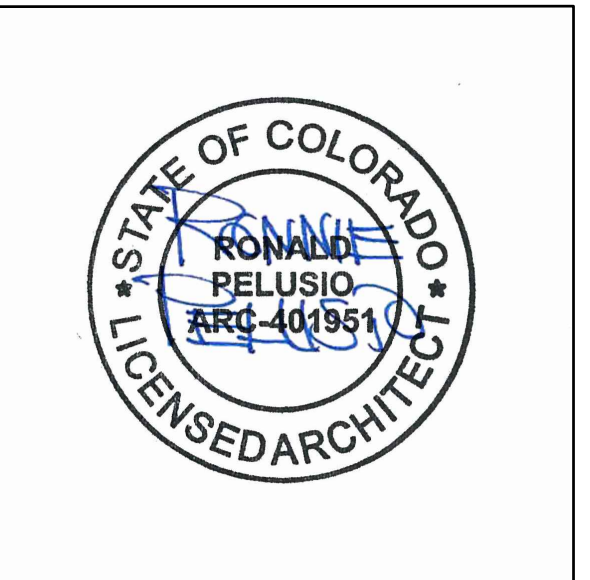
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LIFE SAFETY DIAGRAMS

**A0.3**

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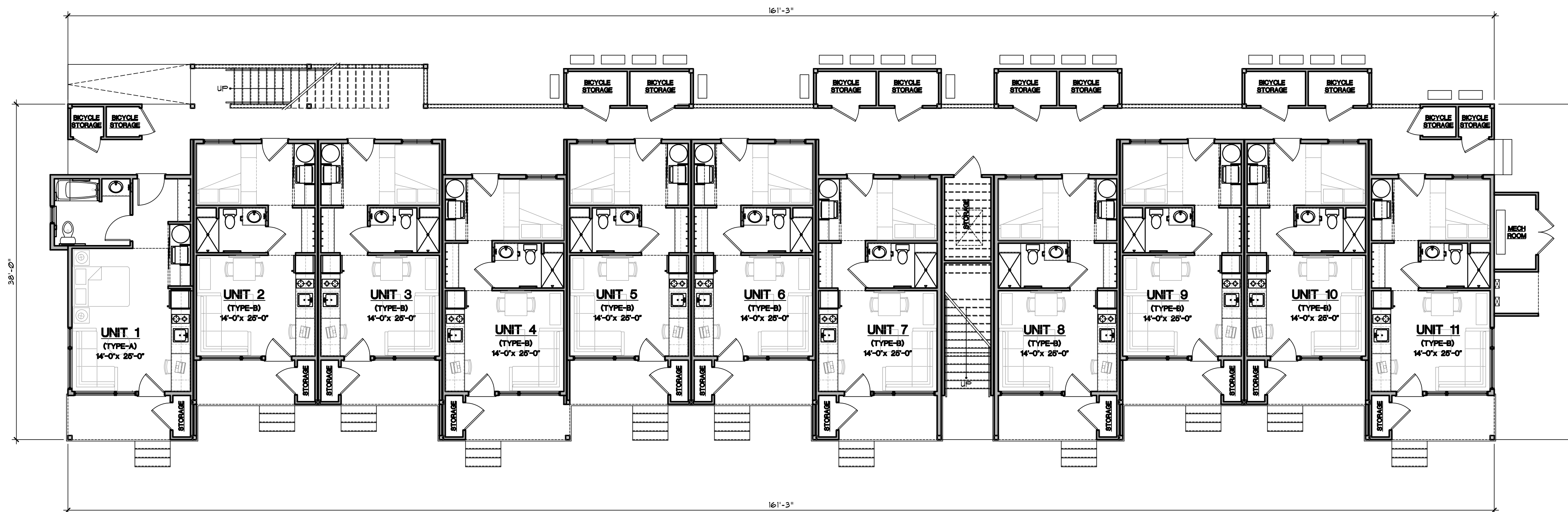
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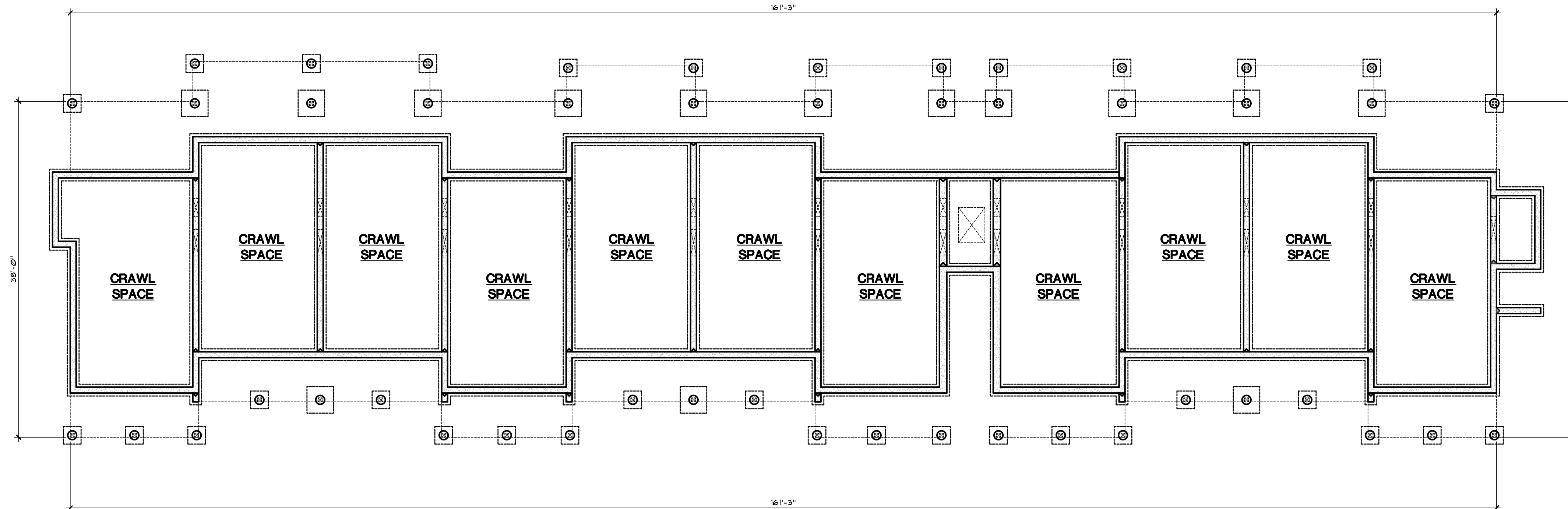
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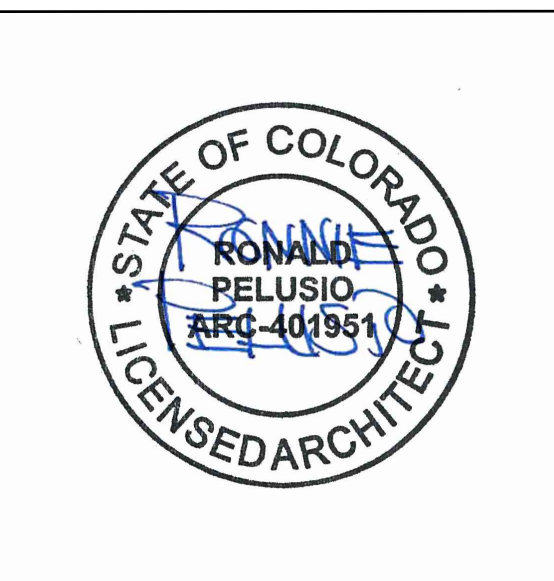
**22 UNIT - GROUND LEVEL PLAN**

SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)



**22 UNIT - CRAWL SPACE PLAN**

SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)



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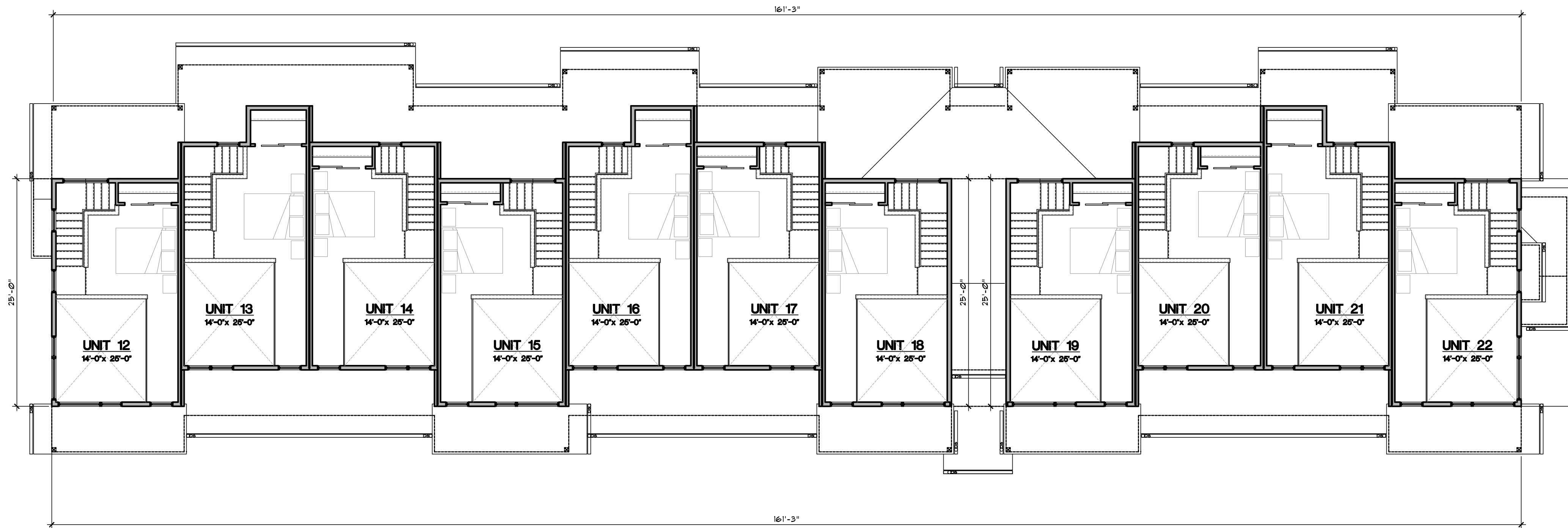
DATE	DESCRIPTION

COMPOSITION PLAN

**A1.0a**

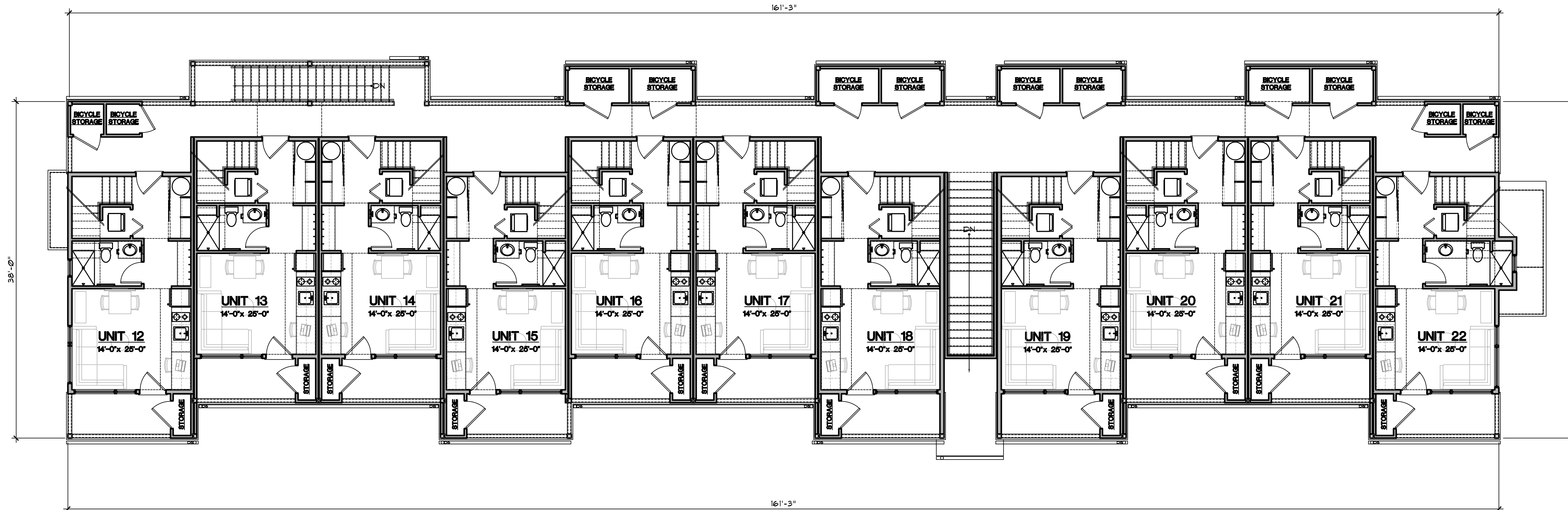
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DATE: 02-15-2023



**22 UNIT - UPPER LEVEL LOFT PLAN**

SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)



**22 UNIT - UPPER LEVEL PLAN**

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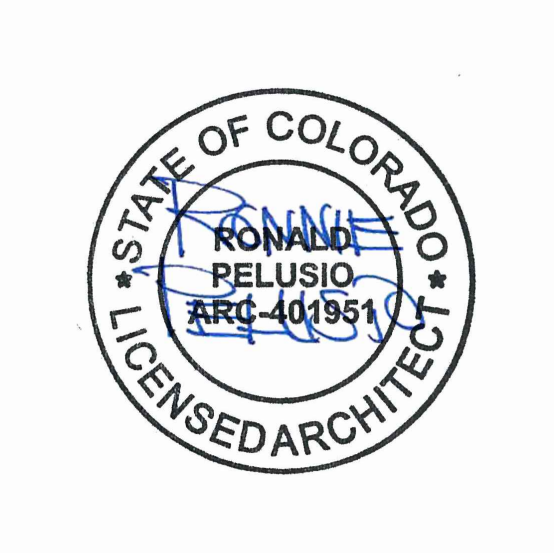
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COMPOSITION PLAN

**A1.0b**

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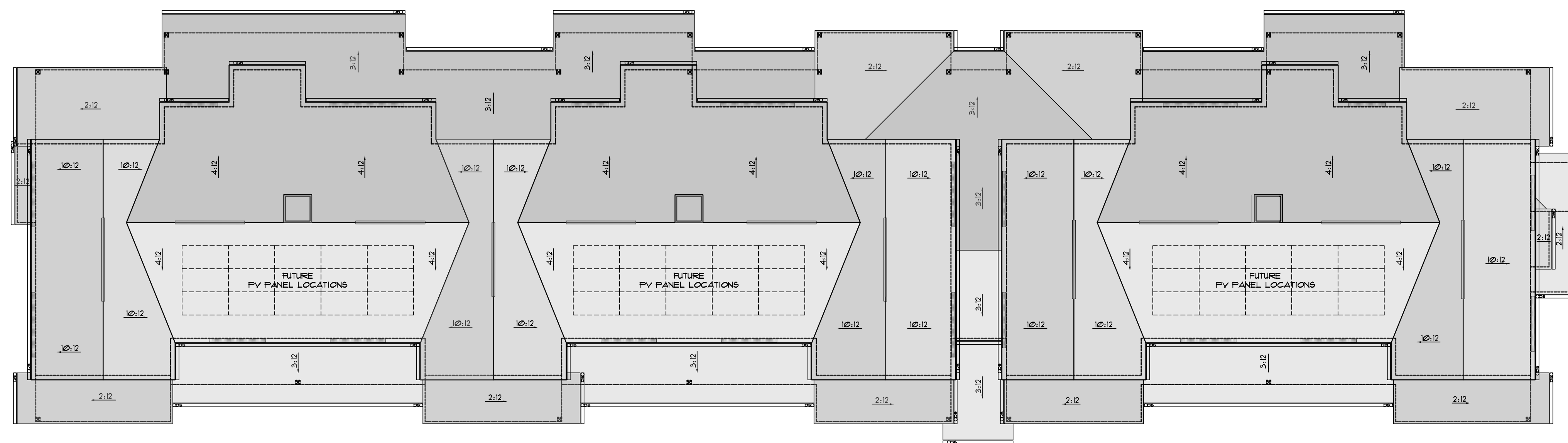
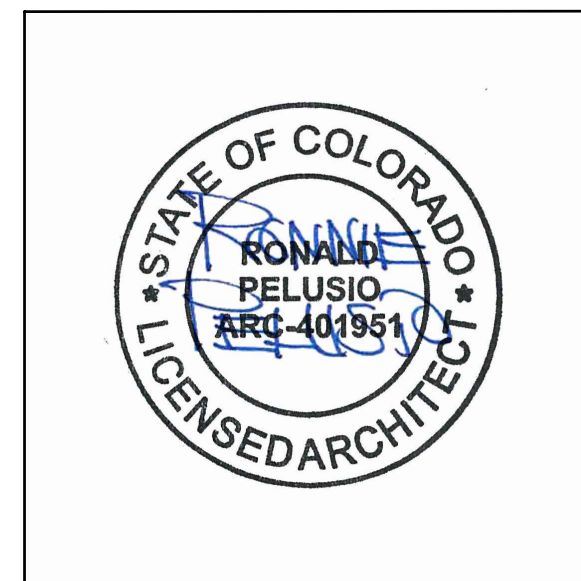
BASECAMP RESIDENCES, LLC  
777 PEARL STREET, SUITE 200  
BOULDER, CO 80302  
PHONE: 225-276-1992  
CONTACT: MICHAEL MARCHAND  
EMAIL: MMarchand@BrynnGrey.com

ARCHITECT

PEL·ONA ARCHITECTS & URBANISTS  
4685 BROADWAY  
BOULDER, CO 80304  
PHONE: 303-443-7876  
CONTACT: RONNIE PELLUSIO  
EMAIL: Ronnie@Pel-Ona.com

IN COLLABORATION WITH

WOLFF LYON ARCHITECTS  
777 PEARL STREET, SUITE 210  
BOULDER, CO 80302  
PHONE: 303-447-2786  
CONTACT: TOM LYON  
EMAIL: Tom@wlyarch.com



22 UNIT - UPPER LEVEL PLAN

SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)

BASECAMP  
LOFTS + STUDIOS  
22 UNIT BUILDING  
FRISCO, COLORADO 80443

ISSUES AND REVISIONS  
DATE DESCRIPTION

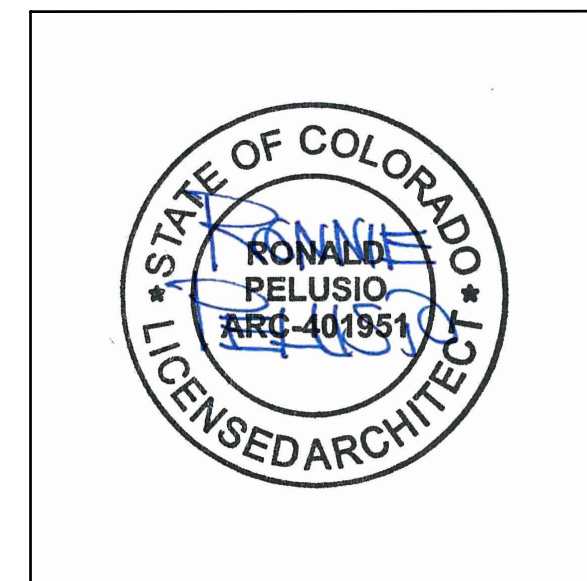
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COMPOSITION PLAN

A1.0c

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DATE: 02-15-2023

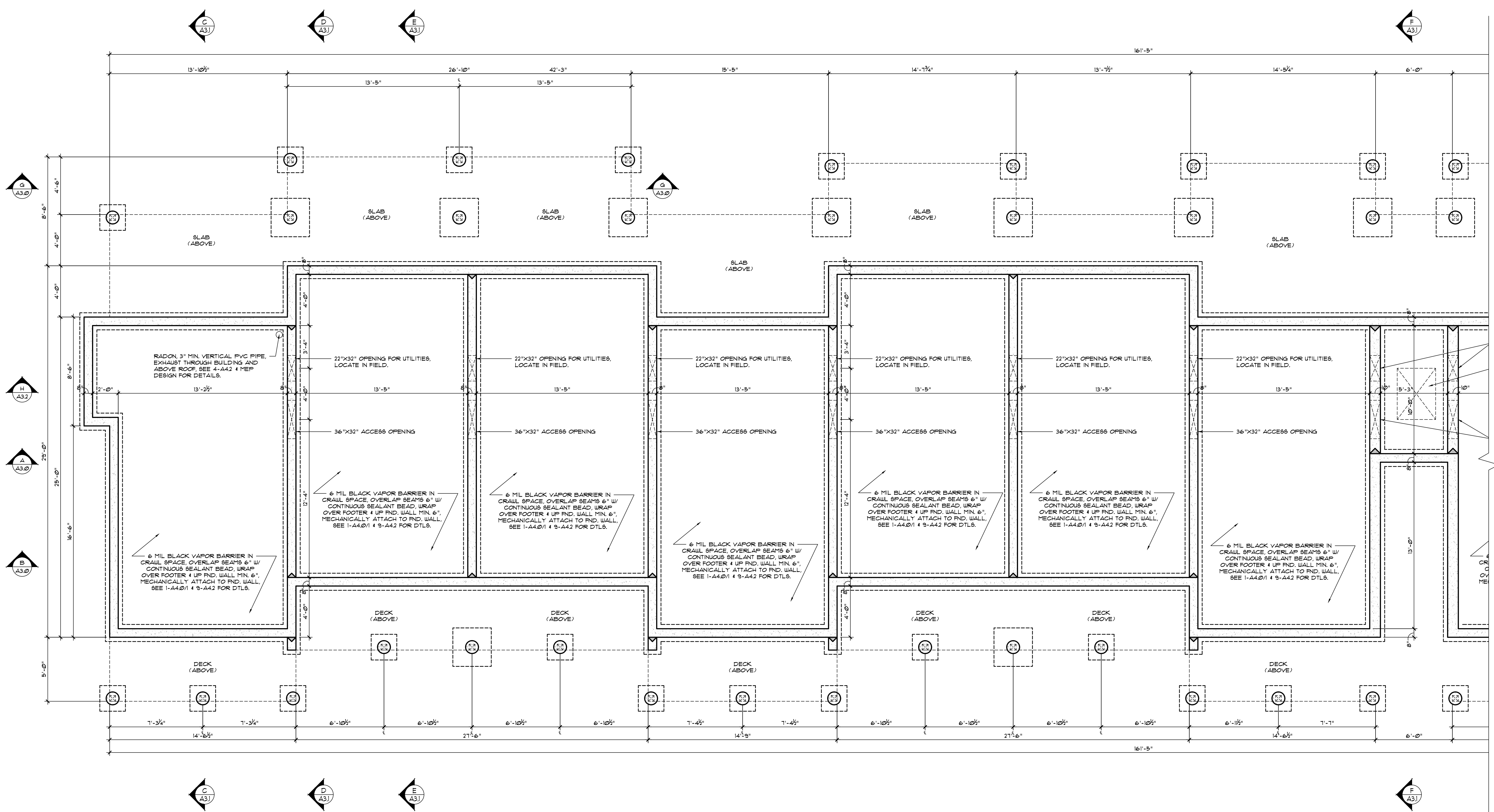


**BASECAMP  
LOFTS + STUDIOS  
22 UNIT BUILDING**  
FRISCO, COLORADO 80443

ISSUES AND REVISIONS	DATE	DESCRIPTION

**CRAWL SPACE  
PLAN**  
**A1.1a**  
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DEVELOPERS, INC.

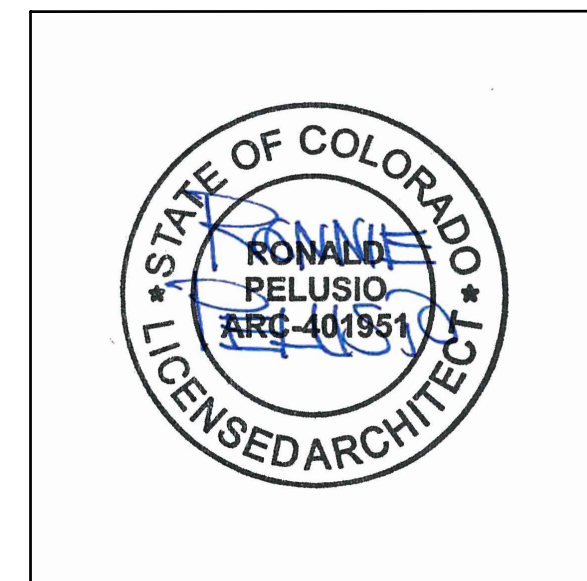
DATE: 02-15-2023



**22 UNIT - CRAWL SPACE PLAN (PARTIAL LEFT)**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



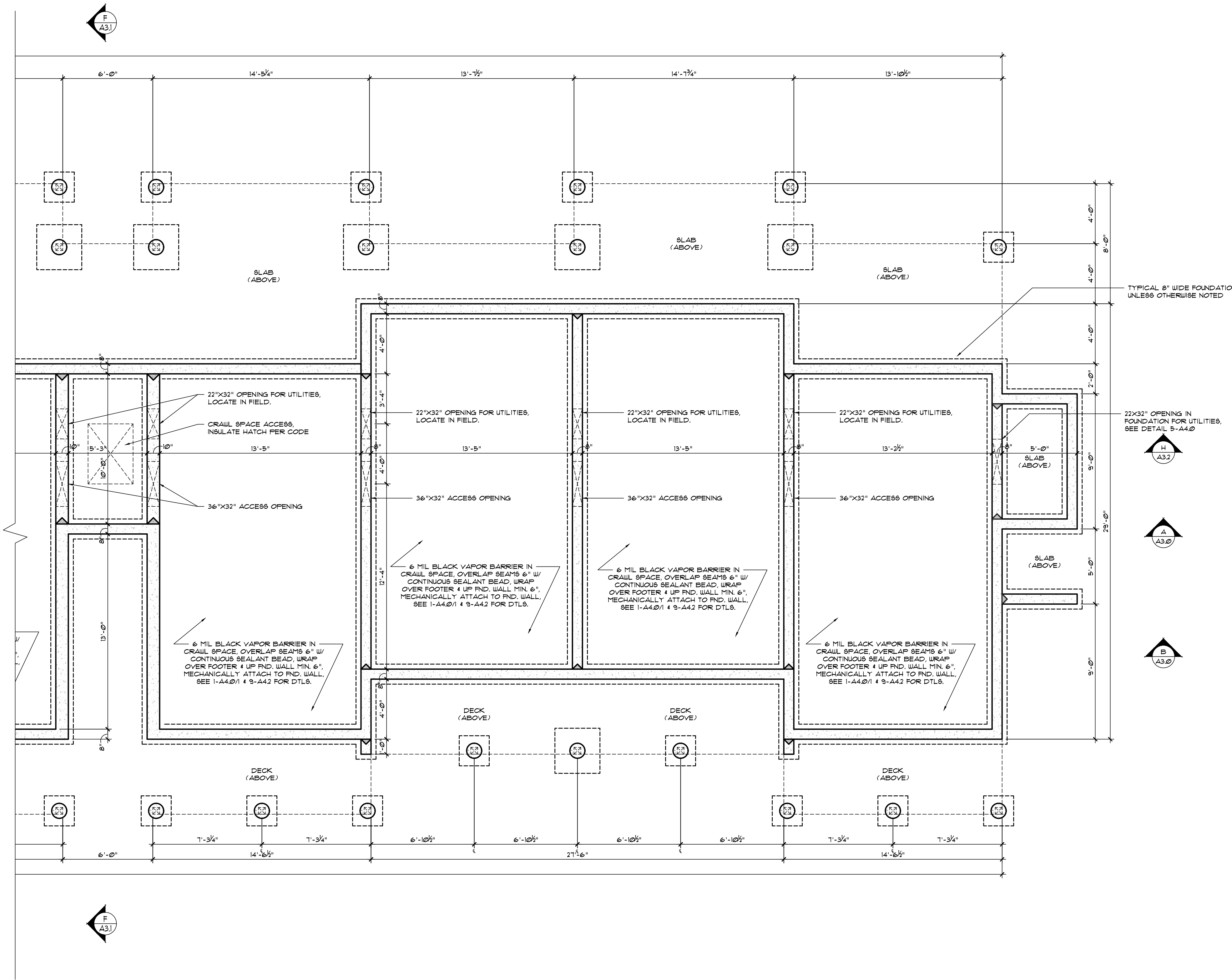


**BASECAMP  
LOFTS + STUDIOS  
22 UNIT BUILDING**  
FRISCO, COLORADO 80443

ISSUES AND REVISIONS	DATE	DESCRIPTION

**CRAWL SPACE PLAN**  
**A1.1b**  
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DATE: 02-15-2023



**22 UNIT - CRAWL SPACE PLAN (PARTIAL RIGHT)**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)

**OWNER**

ALPINE INN, LLC  
PO BOX 4473  
FRISCO, CO 80443  
CONTACT: LESTER WARPECHA

**DEVELOPER**

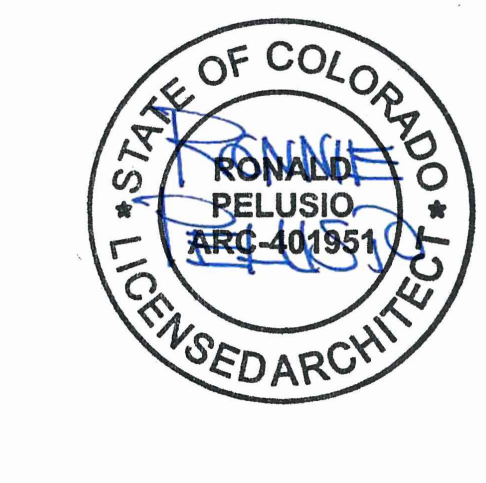
BASECAMP RESIDENCES, LLC  
777 PEARL STREET, SUITE 200  
BOULDER, CO 80302  
PHONE: 225-276-1992  
CONTACT: MICHAEL MARCHAND  
EMAIL: MMarchand@BrynnGrey.com

**ARCHITECT**

PEL · ONA ARCHITECTS & URBANISTS  
4885 BROADWAY  
BOULDER, CO 80304  
PHONE: 303-443-7876  
CONTACT: RONNIE PELUSIO  
EMAIL: Ronnie@Pel-Ona.com

**IN COLLABORATION WITH**

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777 PEARL STREET, SUITE 210  
BOULDER, CO 80302  
PHONE: 303-447-2786  
CONTACT: TOM LYON  
EMAIL: Tom@wlyarch.com



**BASECAMP  
LOFTS + STUDIOS  
22 UNIT BUILDING  
FRISCO, COLORADO 80443**

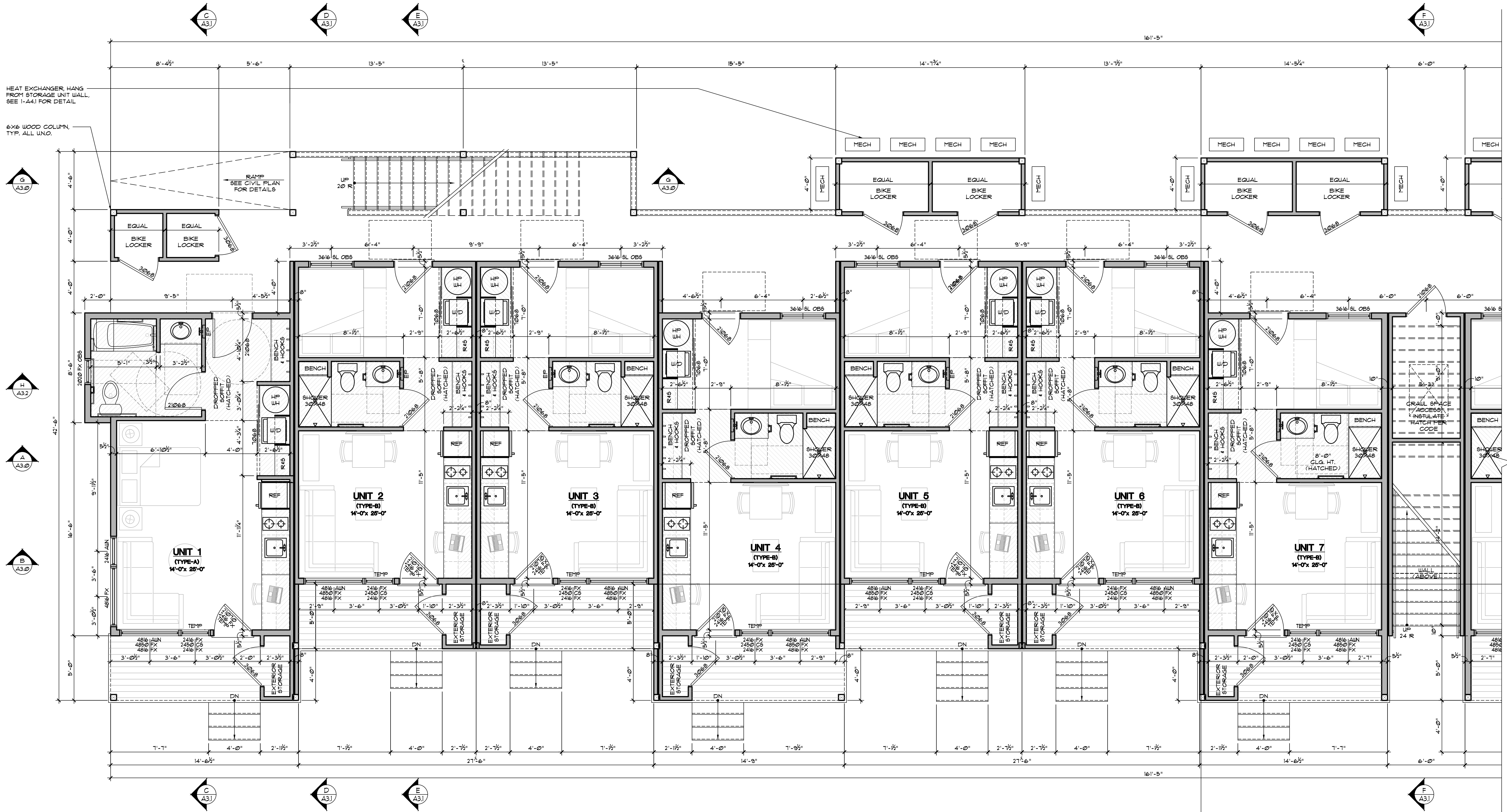
ISSUES AND REVISIONS	DATE	DESCRIPTION

**GROUND LEVEL  
PLAN**

**A1.2a**

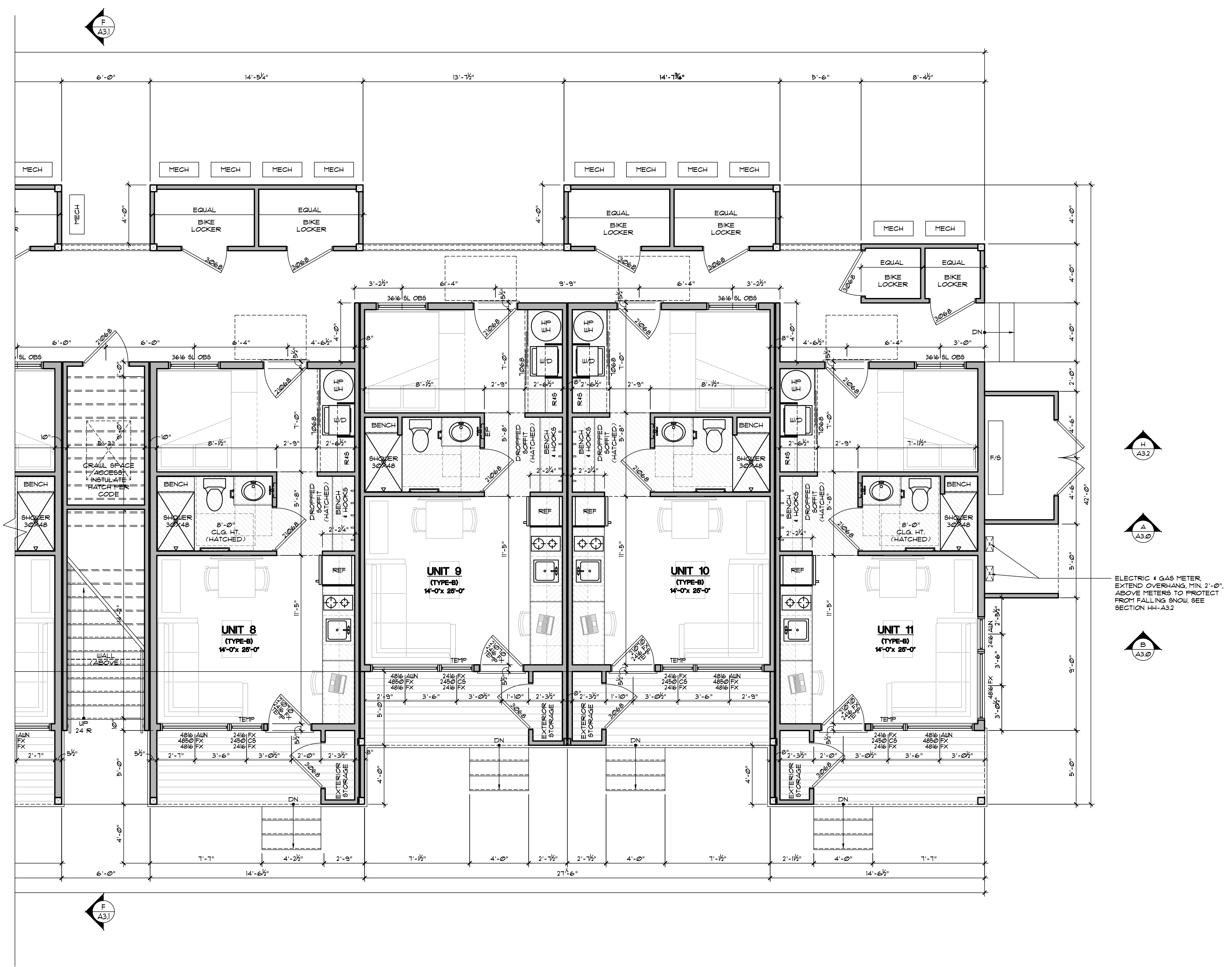
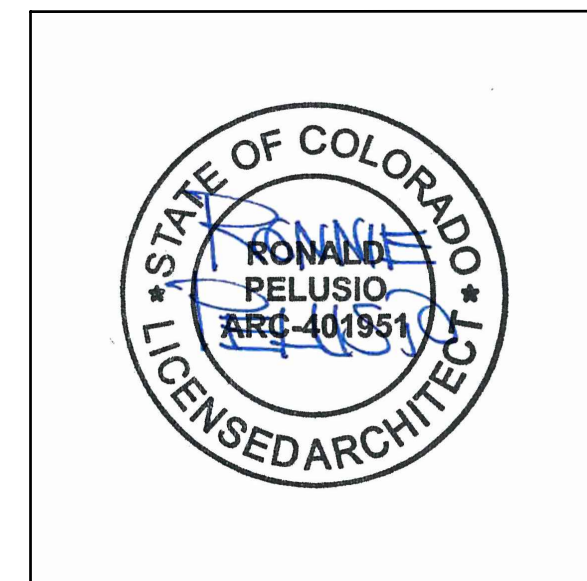
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DEVELOPERS, INC.

DATE: 02-15-2023



**22 UNIT - GROUND LEVEL PLAN (PARTIAL LEFT)**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



**22 UNIT - GROUND LEVEL PLAN (PARTIAL RIGHT)**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)

**BASECAMP  
LOFTS + STUDIOS**  
**22 UNIT BUILDING**  
FRISCO, COLORADO 80443

ISSUES AND REVISIONS	DATE	DESCRIPTION

**GROUND LEVEL  
PLAN**

**A1.2b**

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DATE: 02-15-2023

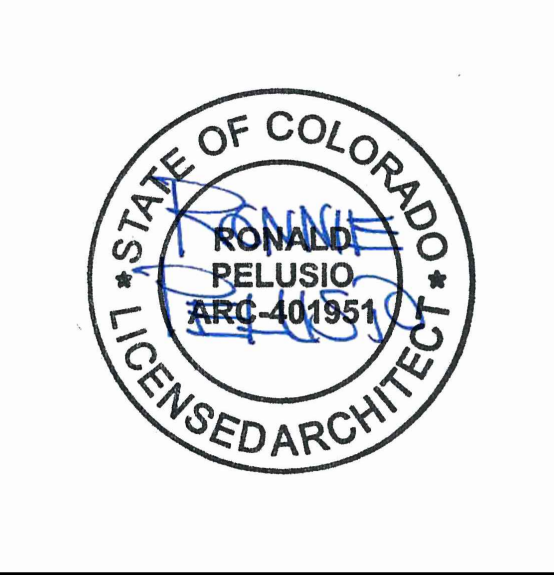
TRADITIONAL NEIGHBORHOOD DEVELOPERS, INC.

**OWNER**  
ALPINE INN, LLC  
PO BOX 4473  
FRISCO, CO 80443  
CONTACT: LESTER WARPECHA

**DEVELOPER**  
BASECAMP RESIDENCES, LLC  
777 PEARL STREET, SUITE 200  
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PHONE: 225-276-1992  
CONTACT: MICHAEL MARCHAND  
EMAIL: MMarchand@BrynnGrey.com

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CONTACT: TOM LYON  
EMAIL: Tom@wlyarch.com



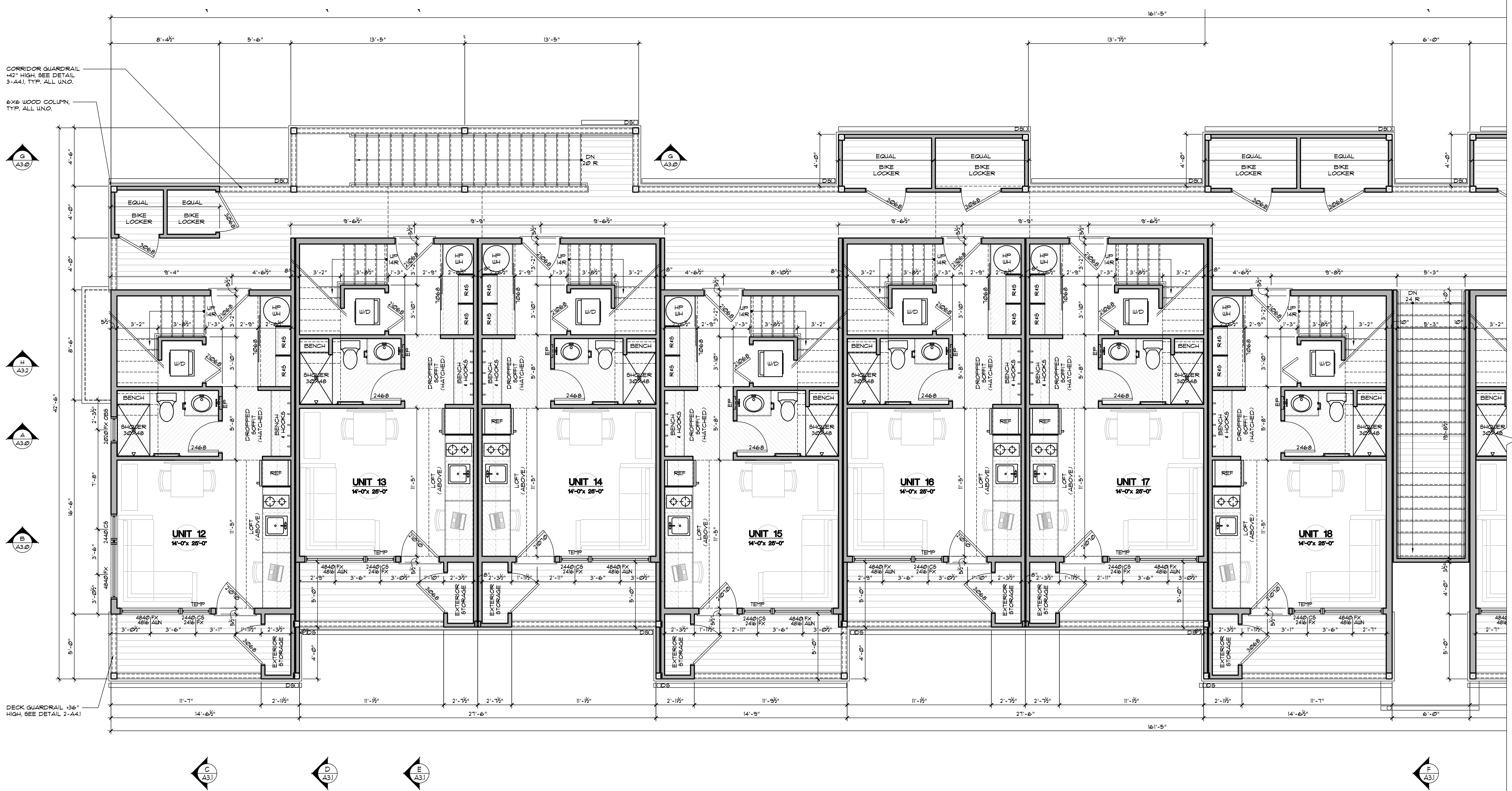
**BASECAMP  
LOFTS + STUDIOS  
22 UNIT BUILDING  
FRISCO, COLORADO 80443**

ISSUES AND REVISIONS  
DATE DESCRIPTION

DATE	DESCRIPTION

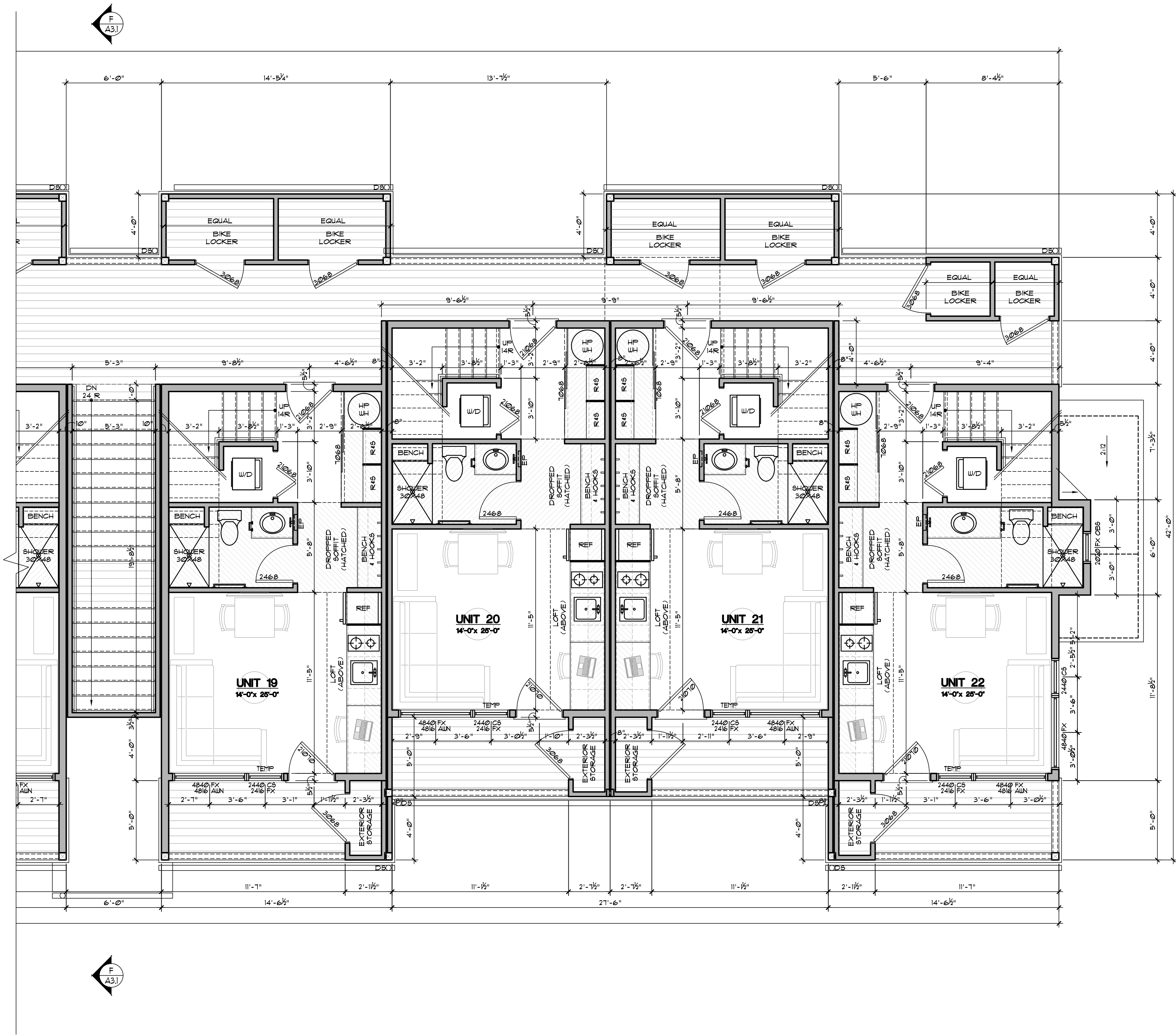
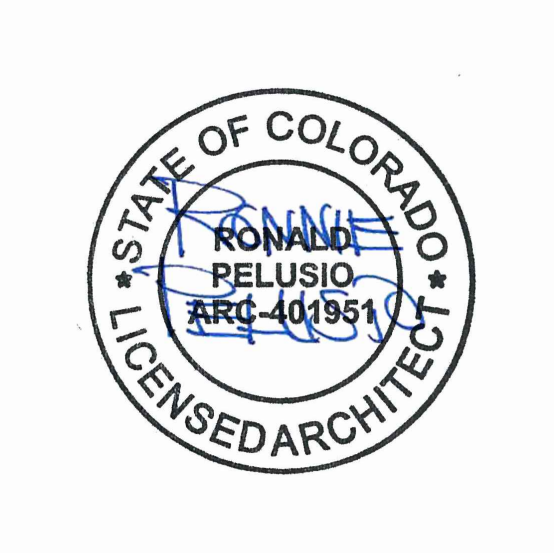
**UPPER LEVEL  
PLAN  
A1.3a**

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DATE: 02-15-2023



**22 UNIT - UPPER LEVEL PLAN (PARTIAL LEFT)**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



**22 UNIT - UPPER LEVEL PLAN (PARTIAL RIGHT)**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)

**BASECAMP  
LOFTS + STUDIOS**  
**22 UNIT BUILDING**  
FRISCO, COLORADO 80443

ISSUES AND REVISIONS	DATE	DESCRIPTION

**UPPER LEVEL  
PLAN**  
**A1.3b**  
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DEVELOPERS, INC.

DATE: 02-15-2023

**OWNER**

ALPINE INN, LLC  
PO BOX 4473  
FRISCO, CO 80443  
CONTACT: LESTER WARPECHA

**DEVELOPER**

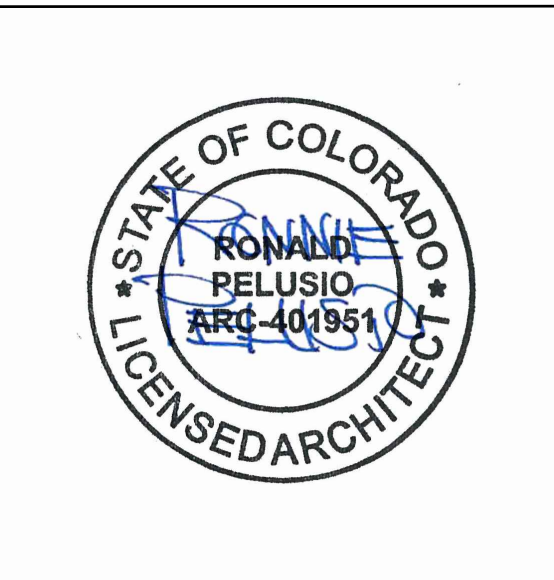
BASECAMP RESIDENCES, LLC  
777 PEARL STREET, SUITE 200  
BOULDER, CO 80302  
PHONE: 225-276-1992  
CONTACT: MICHAEL MARCHAND  
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**ARCHITECT**

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PHONE: 303-447-2786  
CONTACT: TOM LYON  
EMAIL: Tom@wlyon.com



**BASECAMP  
LOFTS + STUDIOS**  
**22 UNIT BUILDING**  
FRISCO, COLORADO 80443

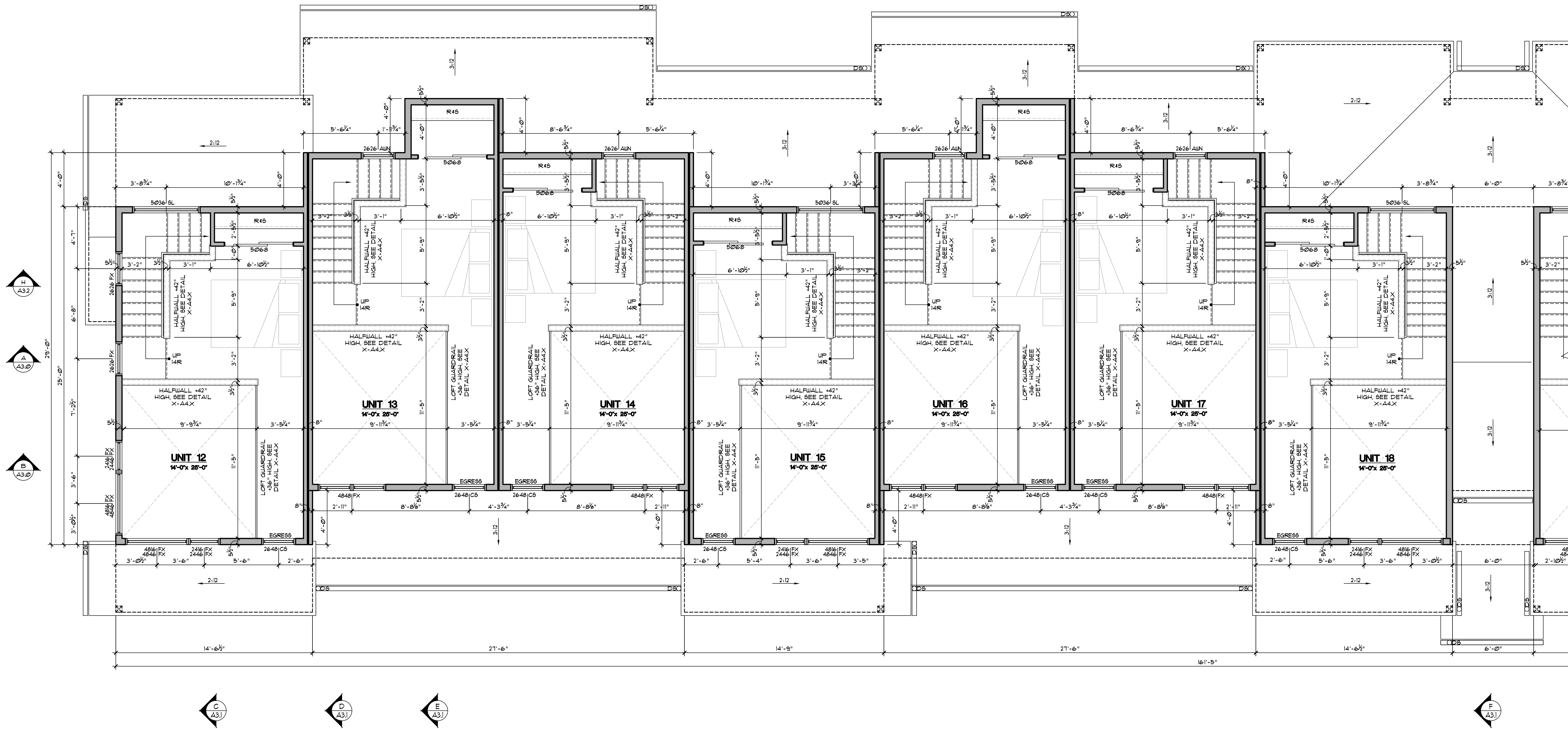
ISSUES AND REVISIONS	DATE	DESCRIPTION

**UPPER LEVEL LOFT PLAN**

**A1.4a**

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DEVELOPERS, INC.

DATE: 02-15-2023



**22 UNIT - UPPER LEVEL LOFT PLAN (PARTIAL LEFT)**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)

**OWNER**

ALPINE INN, LLC  
PO BOX 4473  
FRISCO, CO 80443  
CONTACT: LESTER WARPECHA

**DEVELOPER**

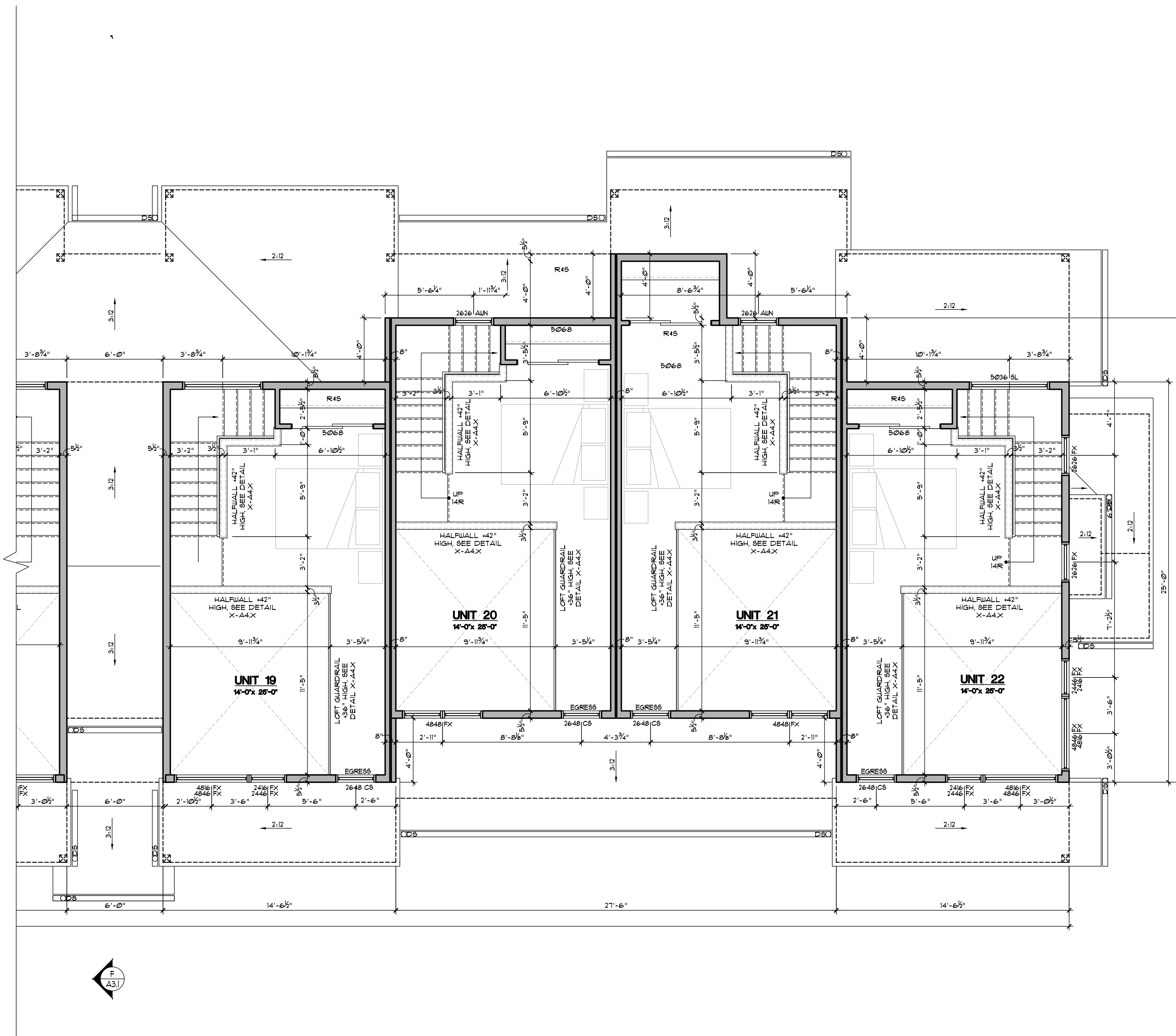
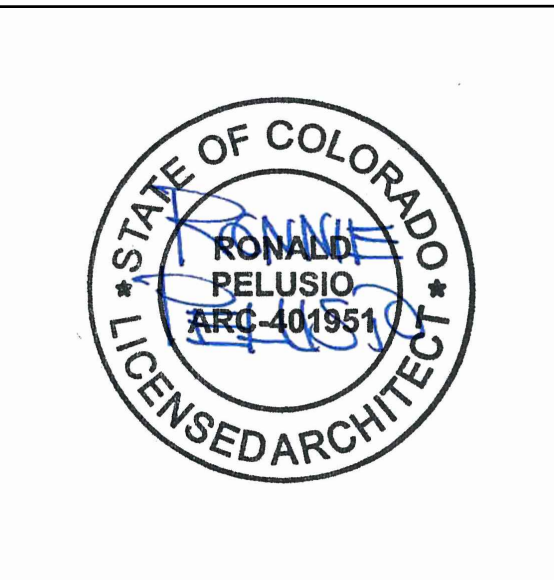
BASECAMP RESIDENCES, LLC  
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BOULDER, CO 80302  
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CONTACT: MICHAEL MARCHAND  
EMAIL: MMarchand@BrynnGrey.com

**ARCHITECT**

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4895 BROADWAY  
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PHONE: 303-443-7876  
CONTACT: RONNIE PELLUSIO  
EMAIL: Ronnie@Pel-Ona.com

**IN COLLABORATION WITH**

WOLFF LYON ARCHITECTS  
777 PEARL STREET, SUITE 210  
BOULDER, CO 80302  
PHONE: 303-447-2786  
CONTACT: TOM LYON  
EMAIL: Tom@wlyarch.com



**22 UNIT - UPPER LEVEL LOFT PLAN (PARTIAL RIGHT)**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)

**BASECAMP  
LOFTS + STUDIOS**  
**22 UNIT BUILDING**  
FRISCO, COLORADO 80443

ISSUES AND REVISIONS  
DATE DESCRIPTION

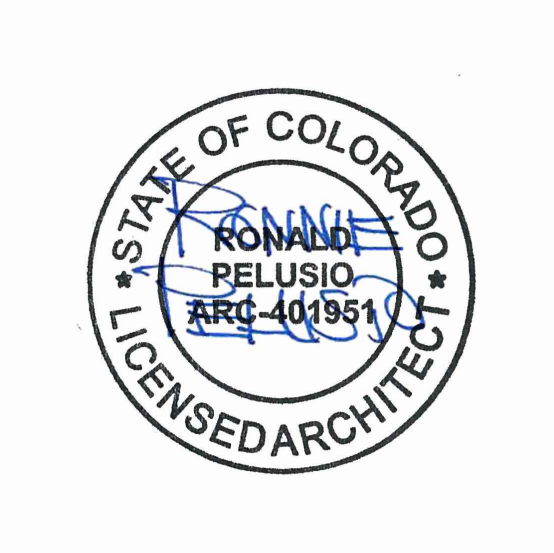
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**UPPER LEVEL LOFT  
PLAN**

**A1.4b**

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DEVELOPERS, INC.

DATE: 02-15-2023



**BASECAMP  
LOFTS + STUDIOS  
22 UNIT BUILDING**  
FRISCO, COLORADO 80443

ISSUES AND REVISIONS	DATE	DESCRIPTION

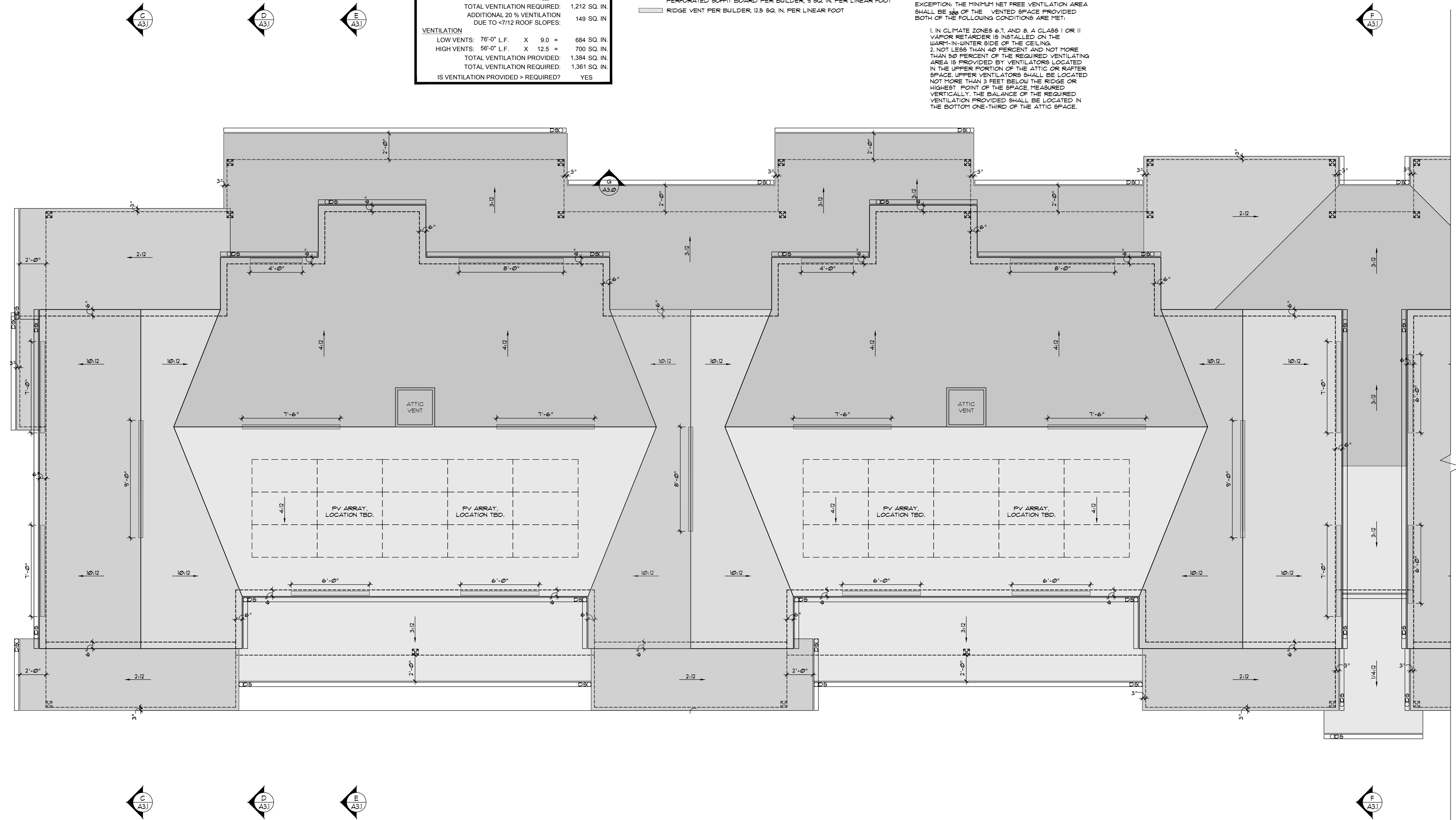
**ROOF  
PLAN**  
**A1.5a**  
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DATE: 02-15-2023

UPPER ROOF	2526 SQ. FT.	X 144	= 363,744 SQ. IN.
VENTILATION RATIO: $\frac{1}{30}$			
TOTAL VENTILATION REQUIRED:	1,212 SQ. IN.		
ADDITIONAL 20% VENTILATION DUE TO 4:12 ROOF SLOPES:	149 SQ. IN.		
<b>VENTILATION</b>			
LOW VENTS: 76'-0" L.F. X 9.0	= 684 SQ. IN.		
HIGH VENTS: 56'-0" L.F. X 12.5	= 700 SQ. IN.		
TOTAL VENTILATION PROVIDED:	1,384 SQ. IN.		
TOTAL VENTILATION REQUIRED:	1,361 SQ. IN.		
IS VENTILATION PROVIDED > REQUIRED?	YES		

**LEGEND**

- DCI PRODUCTS SMARTVENT OR SIMILAR, 9 SQ. IN. PER LINEAR FOOT
- PERFORATED SOFFIT BOARD PER BUILDER, 9 SQ. IN. PER LINEAR FOOT
- RIDGE VENT PER BUILDER, 12.5 SQ. IN. PER LINEAR FOOT

**R202.2 MINIMUM VENT AREA**  
THE MINIMUM NET FREE VENTILATING AREAS SHALL BE  $\frac{1}{30}$  OF THE AREA OF THE VENTED SPACE.  
EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE  $\frac{1}{40}$  OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:  
1. IN CLIMATE ZONES 6-7, AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.  
2. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE.



**22 UNIT - ROOF PLAN (PARTIAL LEFT)**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)





TRADITIONAL NEIGHBORHOOD DEVELOPERS, INC.

OWNER

ALPINE INN, LLC  
PO BOX 4473  
FRISCO, CO 80443  
CONTACT: LESTER WARPECHA

DEVELOPER

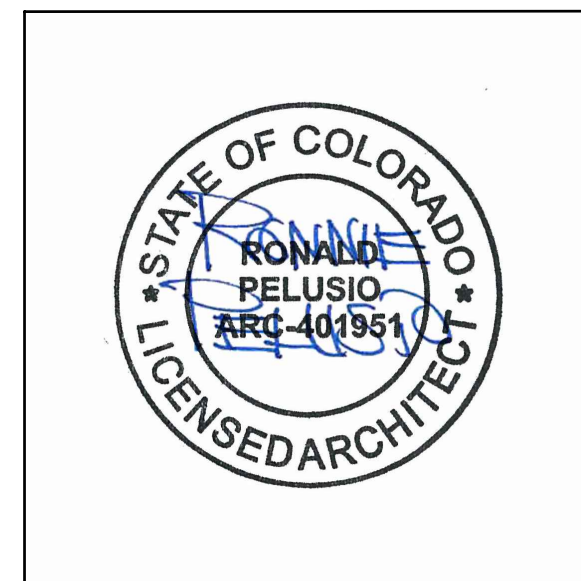
BASECAMP RESIDENCES, LLC  
777 PEARL STREET, SUITE 200  
BOULDER, CO 80302  
PHONE: 225-276-1992  
CONTACT: MICHAEL MARCHAND  
EMAIL: MMarchand@BrynnGrey.com

ARCHITECT

PEL·ONA ARCHITECTS & URBANISTS  
4885 BROADWAY  
BOULDER, CO 80304  
PHONE: 303-443-7876  
CONTACT: RONNIE PELLUSIO  
EMAIL: Ronnie@Pel-Ona.com

IN COLLABORATION WITH

WOLFF LYON ARCHITECTS  
777 PEARL STREET, SUITE 210  
BOULDER, CO 80302  
PHONE: 303-447-2786  
CONTACT: TOM LYON  
EMAIL: Tom@wlyarch.com



BASECAMP  
LOFTS + STUDIOS  
22 UNIT BUILDING  
FRISCO, COLORADO 80443

ISSUES AND REVISIONS  
DATE DESCRIPTION

DATE	DESCRIPTION

ROOF PLAN

A1.5b

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DATE: 02-15-2023

UPPER ROOF	1449 SQ. FT.	X	144	=	208,856 SQ. IN.
VENTILATION RATIO:	$\frac{33}{100}$				
TOTAL VENTILATION REQUIRED:	696 SQ. IN.				
ADDITIONAL 20% VENTILATION DUE TO <7/12 ROOF SLOPES:	149 SQ. IN.				
<b>VENTILATION</b>					
LOW VENTS: 48'-0" L.F. X 9.0 =	432 SQ. IN.				
HIGH VENTS: 34'-0" L.F. X 12.5 =	425 SQ. IN.				
TOTAL VENTILATION PROVIDED:	857 SQ. IN.				
TOTAL VENTILATION REQUIRED:	845 SQ. IN.				
IS VENTILATION PROVIDED > REQUIRED?	YES				

LEGEND

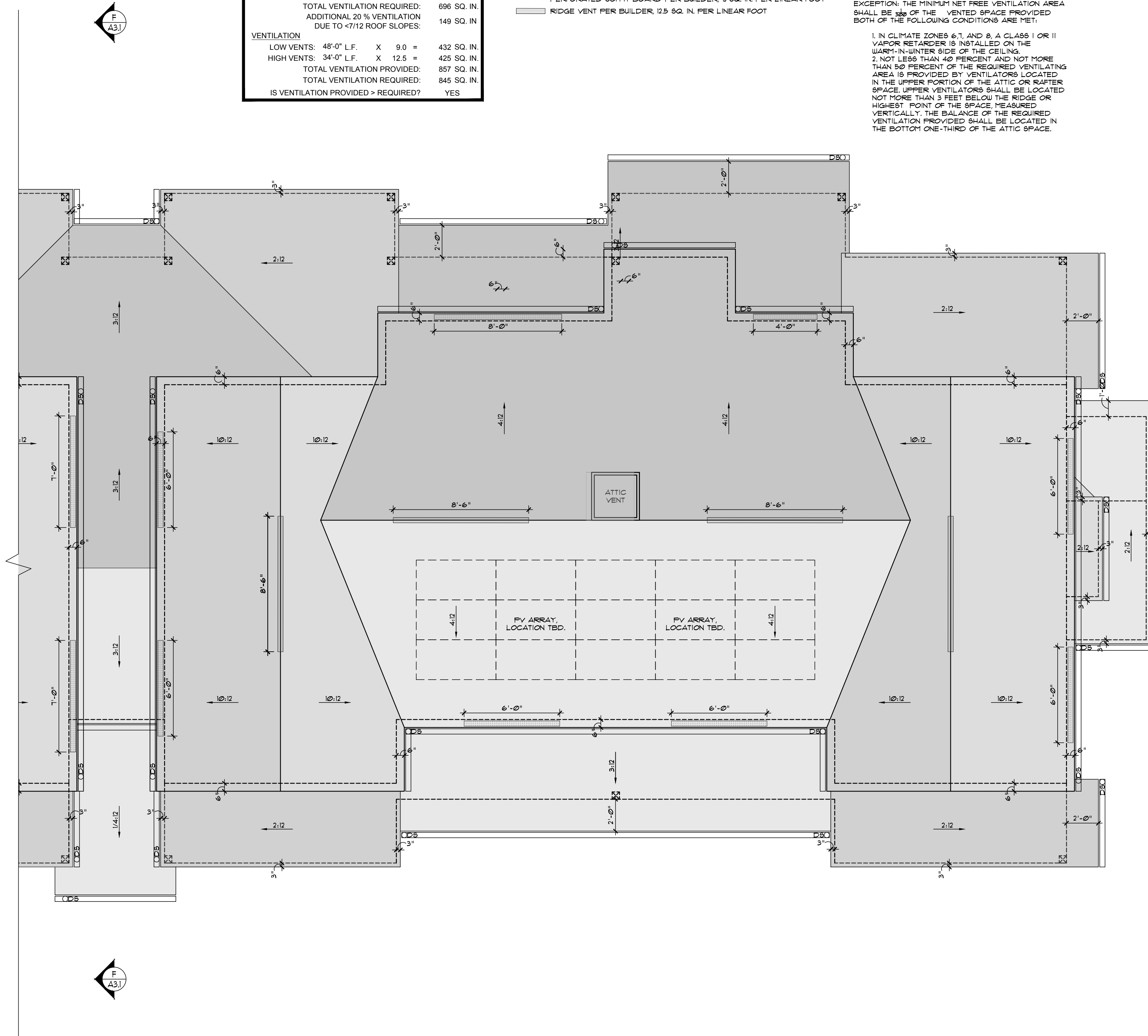
- DCI PRODUCTS SMARTVENT OR SIMILAR, 9 SQ. IN. PER LINEAR FOOT
- PERFORATED SOFFIT BOARD PER BUILDER, 9 SQ. IN. PER LINEAR FOOT
- RIDGE VENT PER BUILDER, 12.5 SQ. IN. PER LINEAR FOOT

R606.2 MINIMUM VENT AREA

THE MINIMUM NET FREE VENTILATING AREAS SHALL BE  $\frac{1}{80}$  OF THE AREA OF THE VENTED SPACE.

EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE  $\frac{1}{60}$  OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:

1. IN CLIMATE ZONES 6, 7, AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
2. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE.



22 UNIT - ROOF PLAN (PARTIAL RIGHT)

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



TRADITIONAL NEIGHBORHOOD DEVELOPERS, INC.

OWNER

ALPINE INN, LLC  
PO BOX 4473  
FRISCO, CO 80443  
CONTACT: LESTER WARPECHA

DEVELOPER

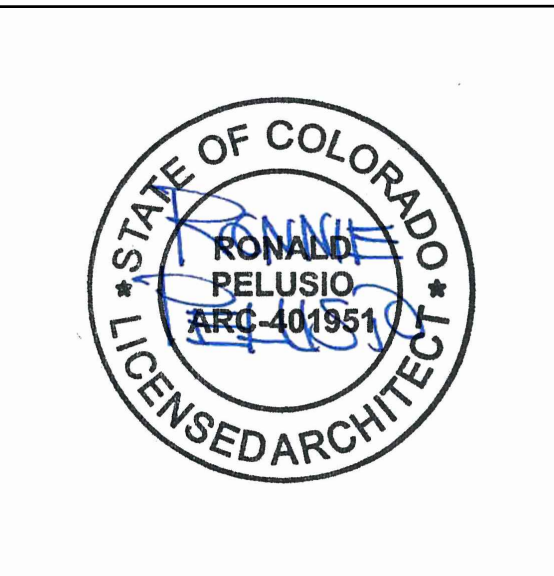
BASECAMP RESIDENCES, LLC  
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PHONE: 303-447-2786  
CONTACT: TOM LYON  
EMAIL: Tom@wlyarch.com



**SOUTH ELEVATION (COURTYARD)**

SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)

BASECAMP  
LOFTS + STUDIOS  
22 UNIT BUILDING  
FRISCO, COLORADO 80443

ISSUES AND REVISIONS	DATE	DESCRIPTION

EXTERIOR ELEVATIONS  
**A2.0**  
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DATE: 02-15-2023



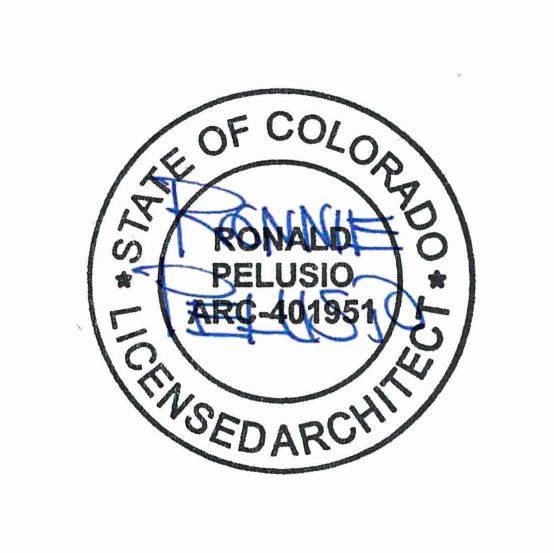
TRADITIONAL NEIGHBORHOOD DEVELOPERS, INC.

OWNER  
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PO BOX 4473  
FRISCO, CO 80443  
CONTACT: LESTER WARPECHA

DEVELOPER  
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EMAIL: MMarchand@BrynnGrey.com

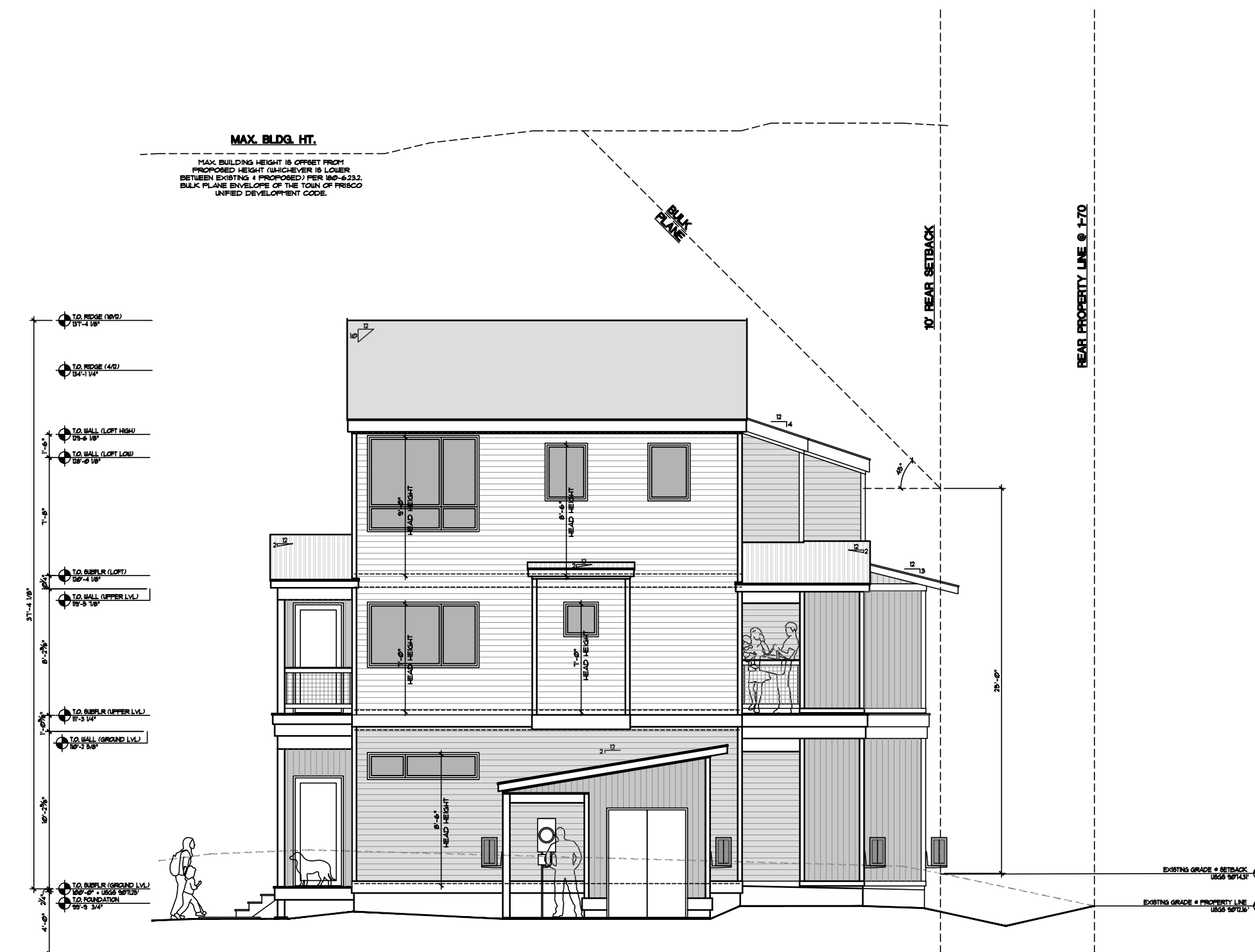
ARCHITECT  
PEL·ONA ARCHITECTS & URBANISTS  
4885 BROADWAY  
BOULDER, CO 80304  
PHONE: 303-443-7876  
CONTACT: RONNIE PELUSIO  
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PHONE: 303-447-2786  
CONTACT: TOM LYON  
EMAIL: Tom@wlarch.com



### WEST ELEVATION

SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)



### EAST ELEVATION

SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)



### NORTH ELEVATION

SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)

BASECAMP  
LOFTS + STUDIOS  
22 UNIT BUILDING  
FRISCO, COLORADO 80443

ISSUES AND REVISIONS	DATE	DESCRIPTION

EXTERIOR ELEVATIONS  
**A2.1**  
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DATE: 02-15-2023



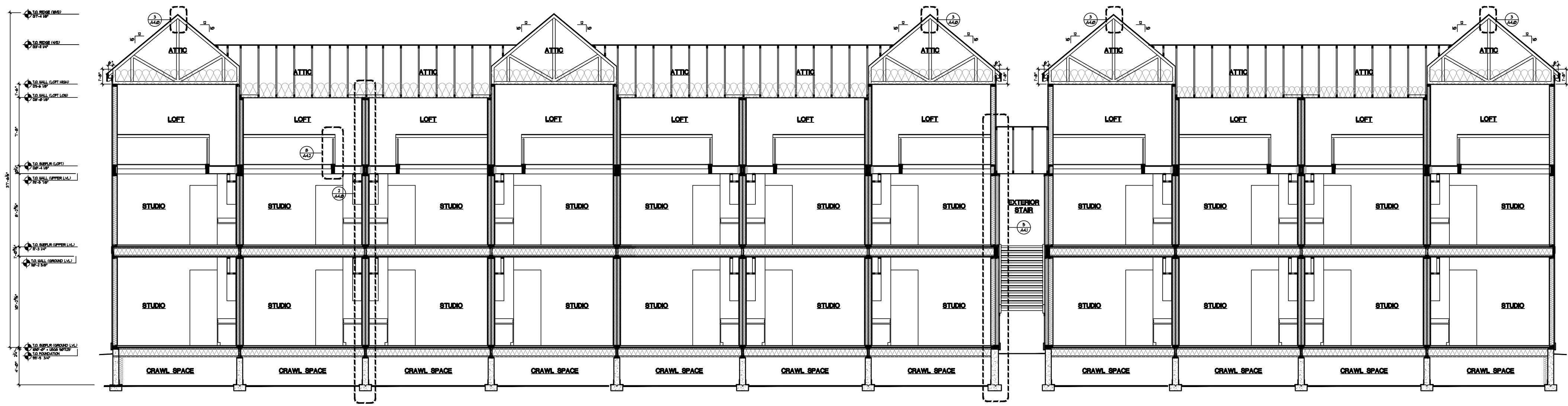
TRADITIONAL NEIGHBORHOOD DEVELOPERS, INC.

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**DEVELOPER**  
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EMAIL: MMarchand@BrynnGrey.com

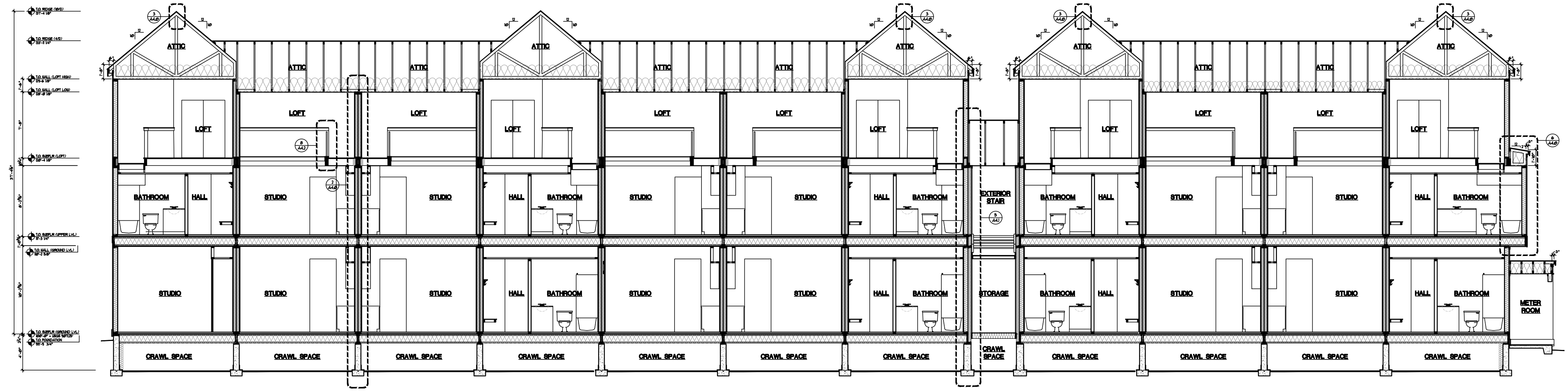
**ARCHITECT**  
PEL·ONA ARCHITECTS & URBANISTS  
4885 BROADWAY  
BOULDER, CO 80304  
PHONE: 303-443-7876  
CONTACT: RONNIE PELLUSIO  
EMAIL: Ronnie@Pel-Ona.com

**IN COLLABORATION WITH**  
WOLFF LYON ARCHITECTS  
777 PEARL STREET, SUITE 210  
BOULDER, CO 80302  
PHONE: 303-447-2786  
CONTACT: TOM LYON  
EMAIL: Tom@wlyarch.com



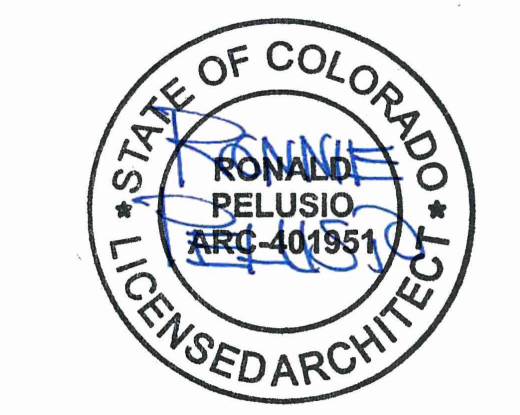
**BUILDING SECTION BB**

SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)



**BUILDING SECTION AA**

SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)

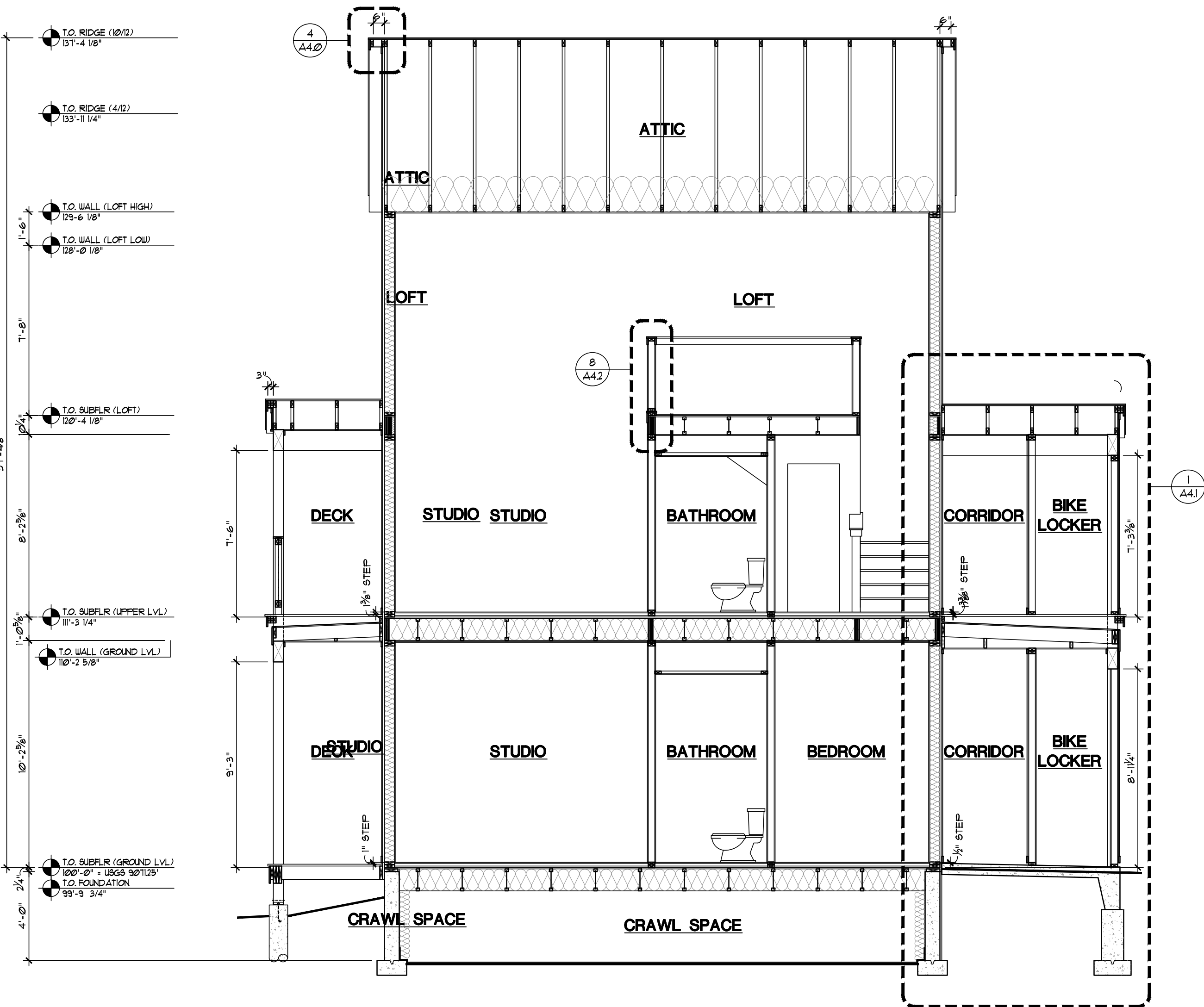


**BASECAMP  
LOFTS + STUDIOS**  
**22 UNIT BUILDING**  
 FRISCO, COLORADO 80443

ISSUES AND REVISIONS  
DATE DESCRIPTION

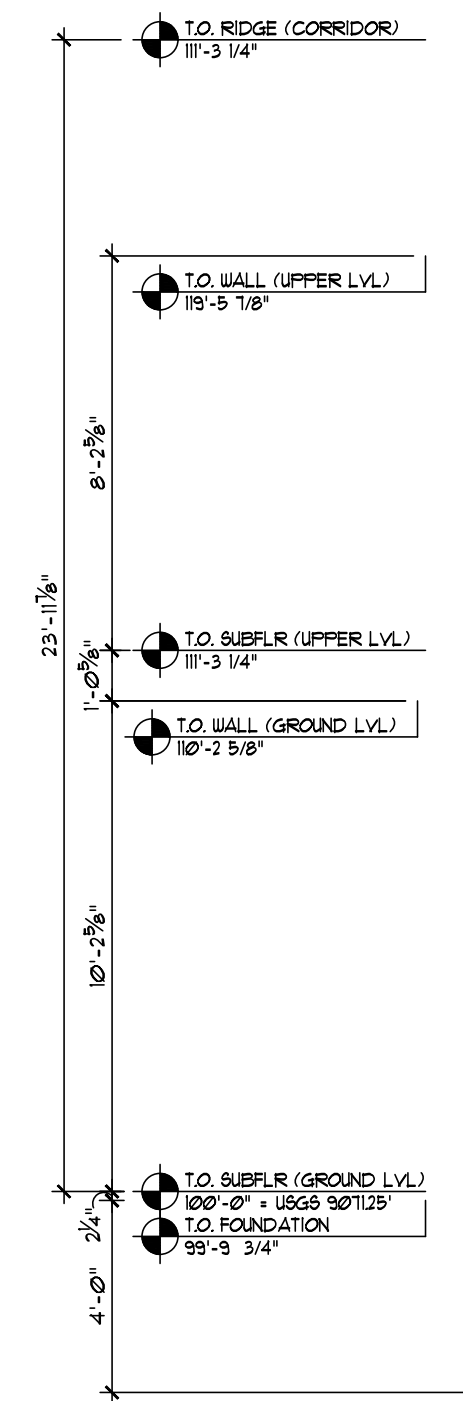
DATE	DESCRIPTION

**BUILDING  
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**A3.0**  
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 DEVELOPERS, INC.  
 DATE: 02-15-2023



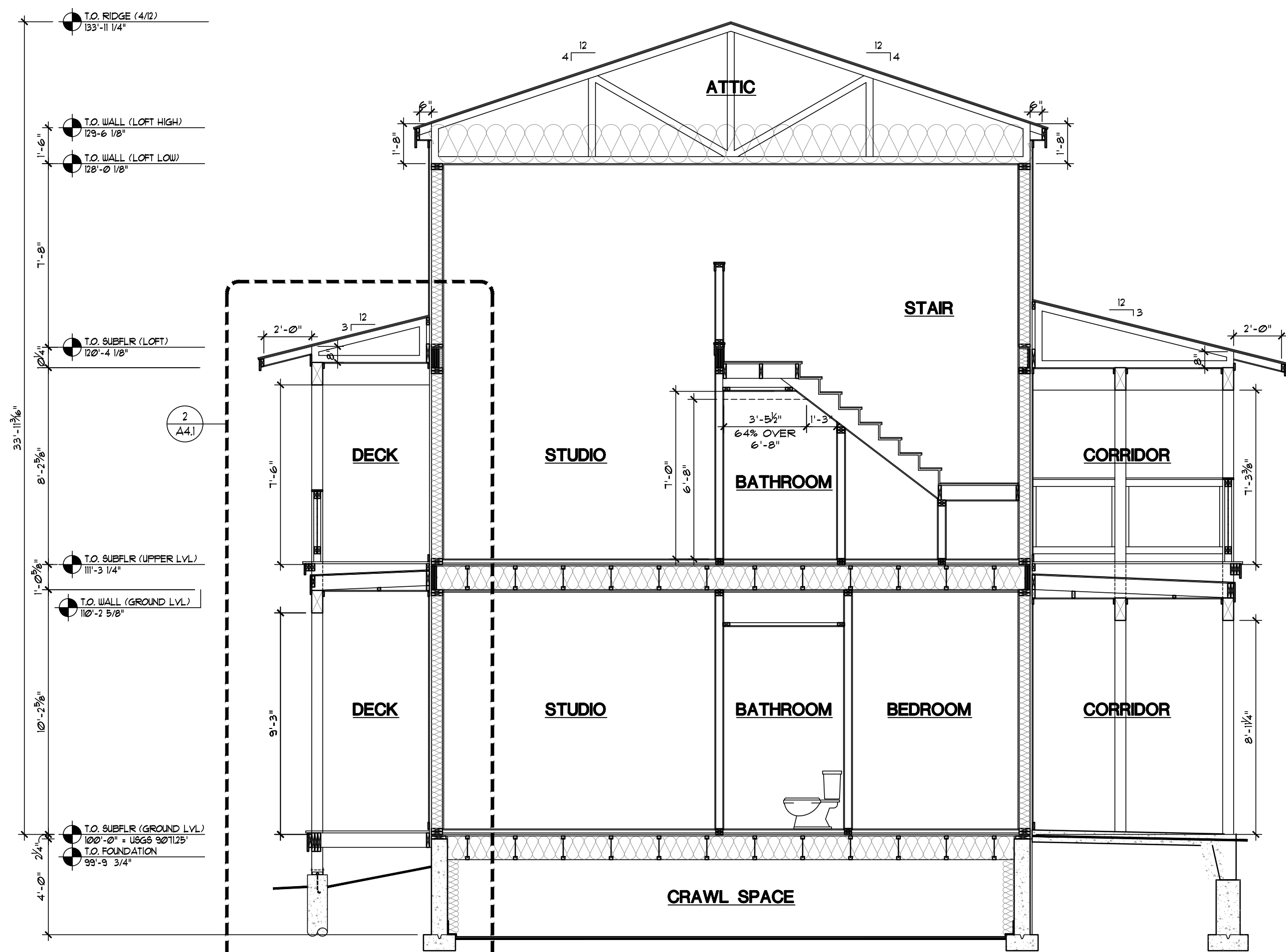
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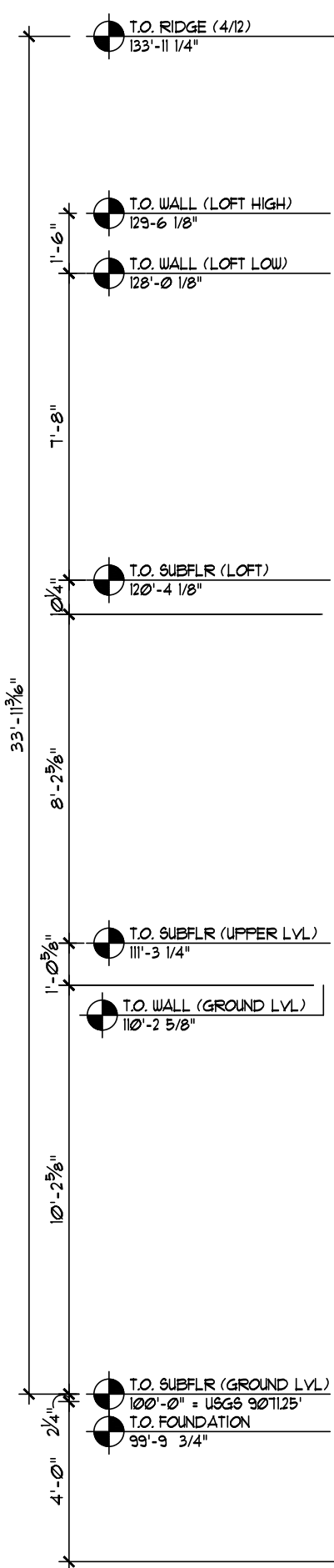
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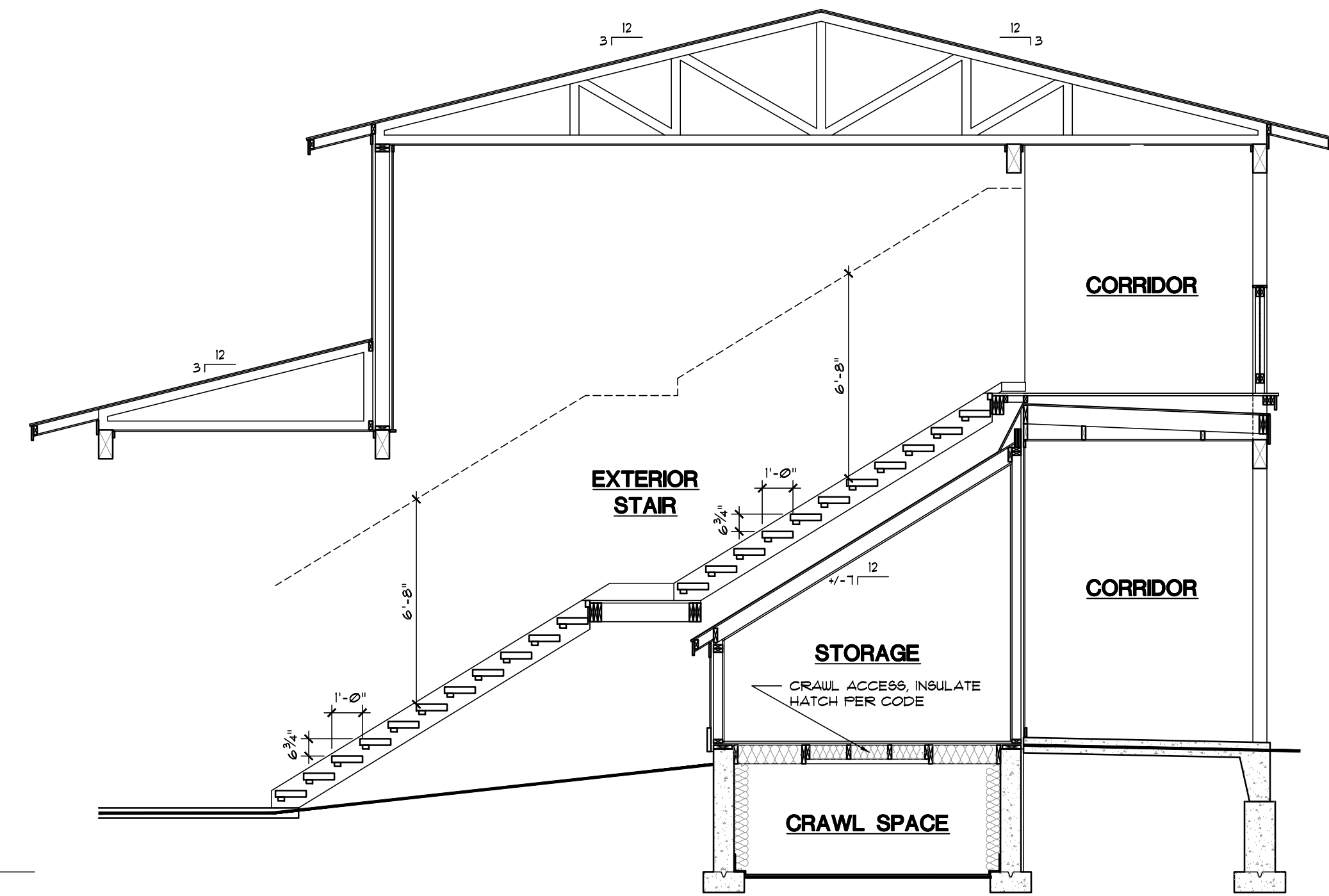
**BUILDING SECTION DD**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



**BUILDING SECTION EE**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



**BUILDING SECTION FF**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



TRADITIONAL NEIGHBORHOOD DEVELOPERS, INC.

**OWNER**

ALPINE INN, LLC  
777 PEARL STREET, SUITE 200  
FRISCO, CO 80443  
CONTACT: LESTER WARPECHA

**DEVELOPER**

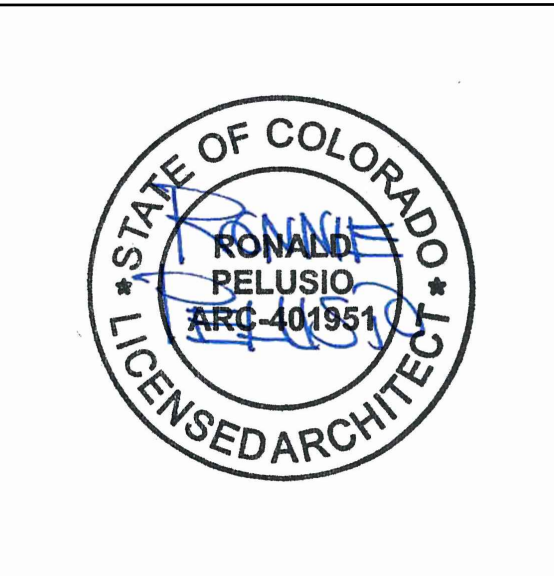
BASECAMP RESIDENCES, LLC  
777 PEARL STREET, SUITE 200  
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PHONE: 225-276-1992  
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EMAIL: MMarchand@BrymGrey.com

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PHONE: 303-447-2786  
CONTACT: TOM LYON  
EMAIL: Tom@wlarch.com

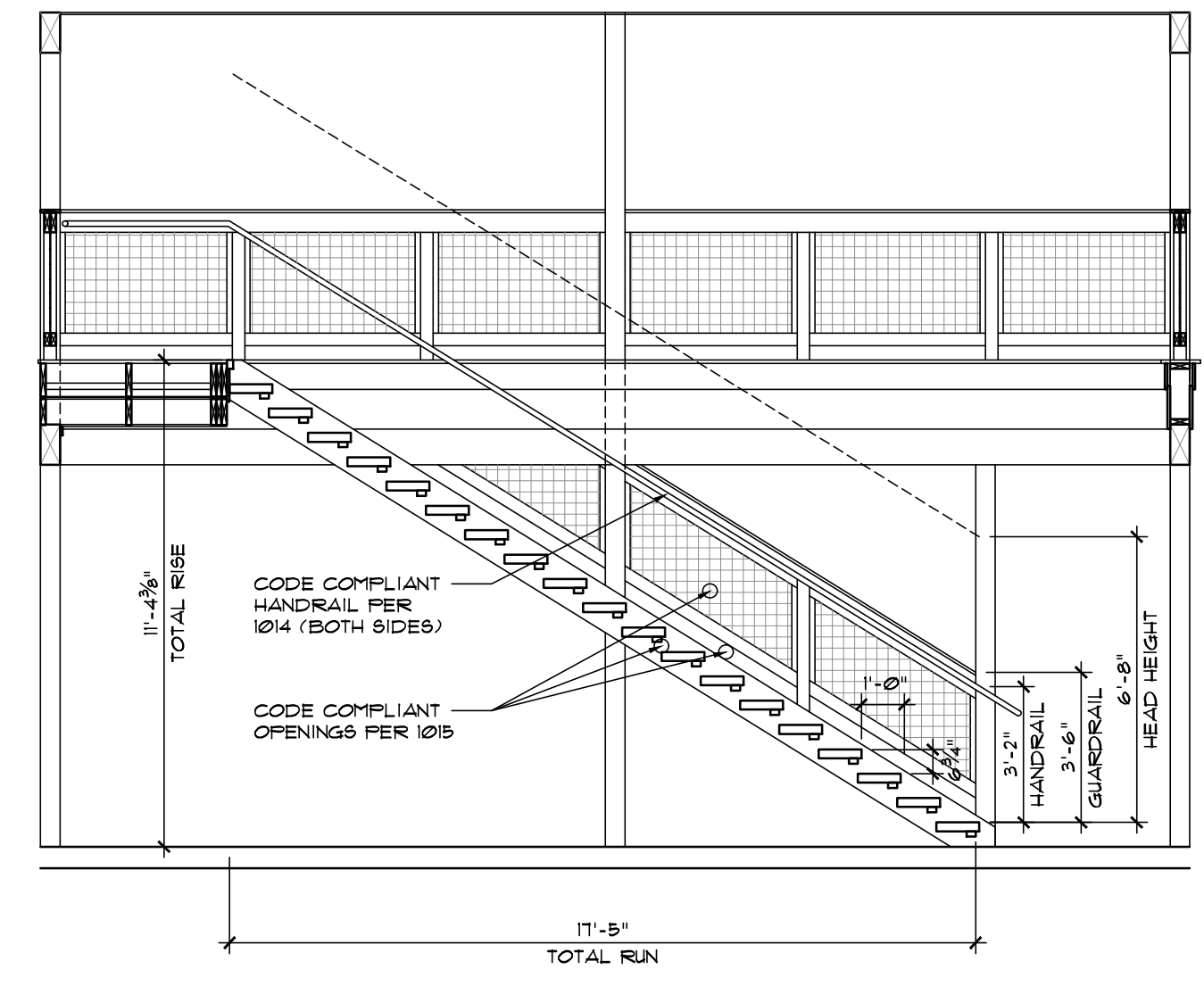


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22 UNIT BUILDING**  
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**ISSUES AND REVISIONS**

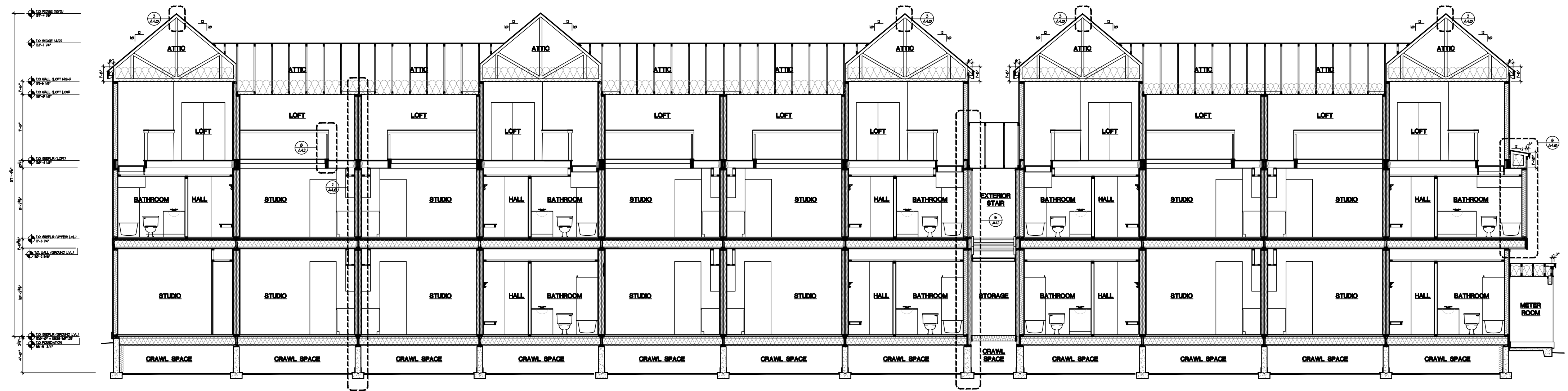
DATE	DESCRIPTION

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**A3.1**  
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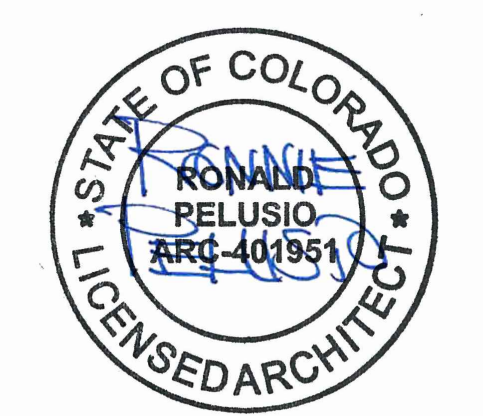
**BUILDING SECTION GG**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



**BUILDING SECTION AA**

SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)



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ISSUES AND REVISIONS

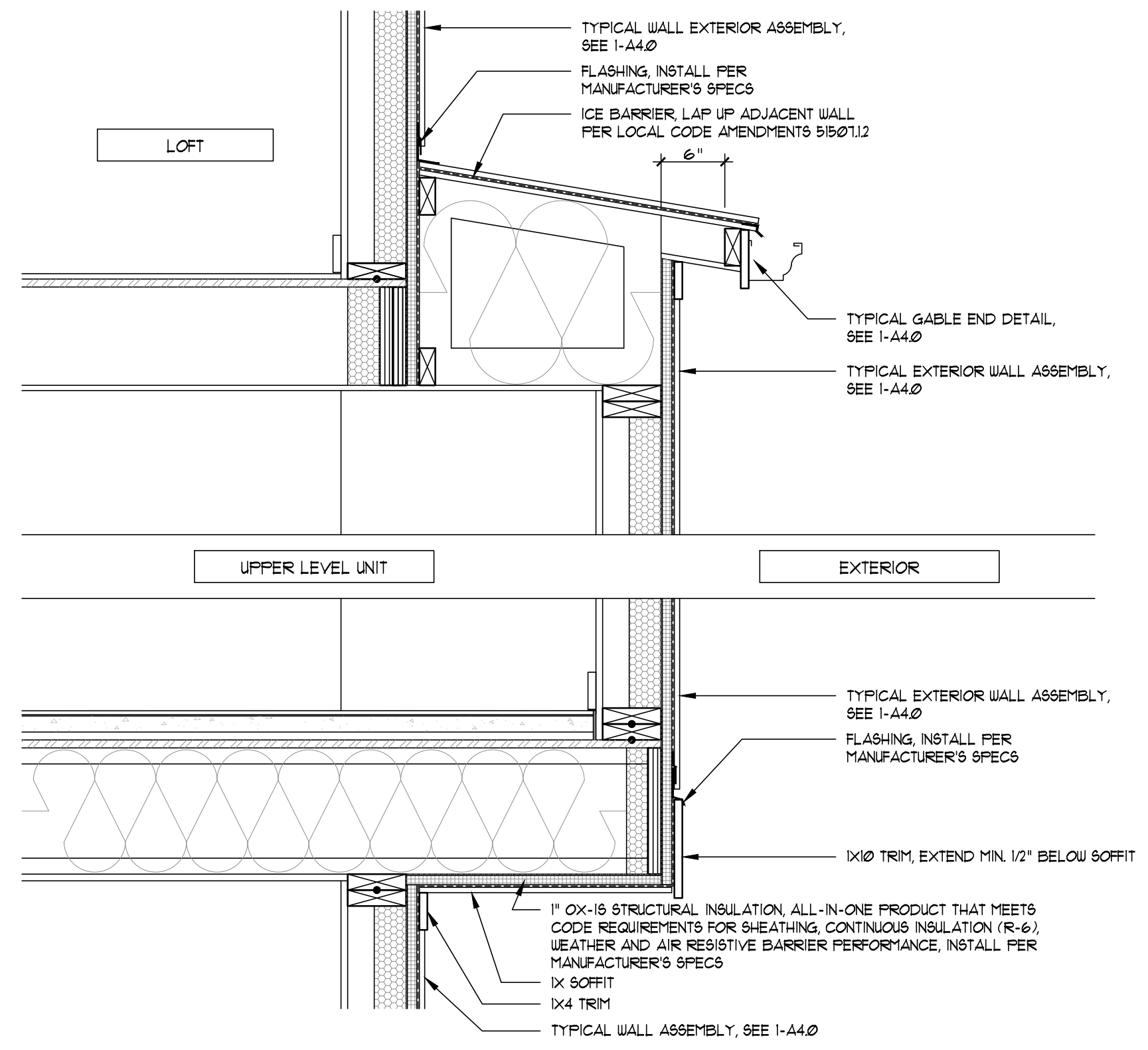
DATE	DESCRIPTION

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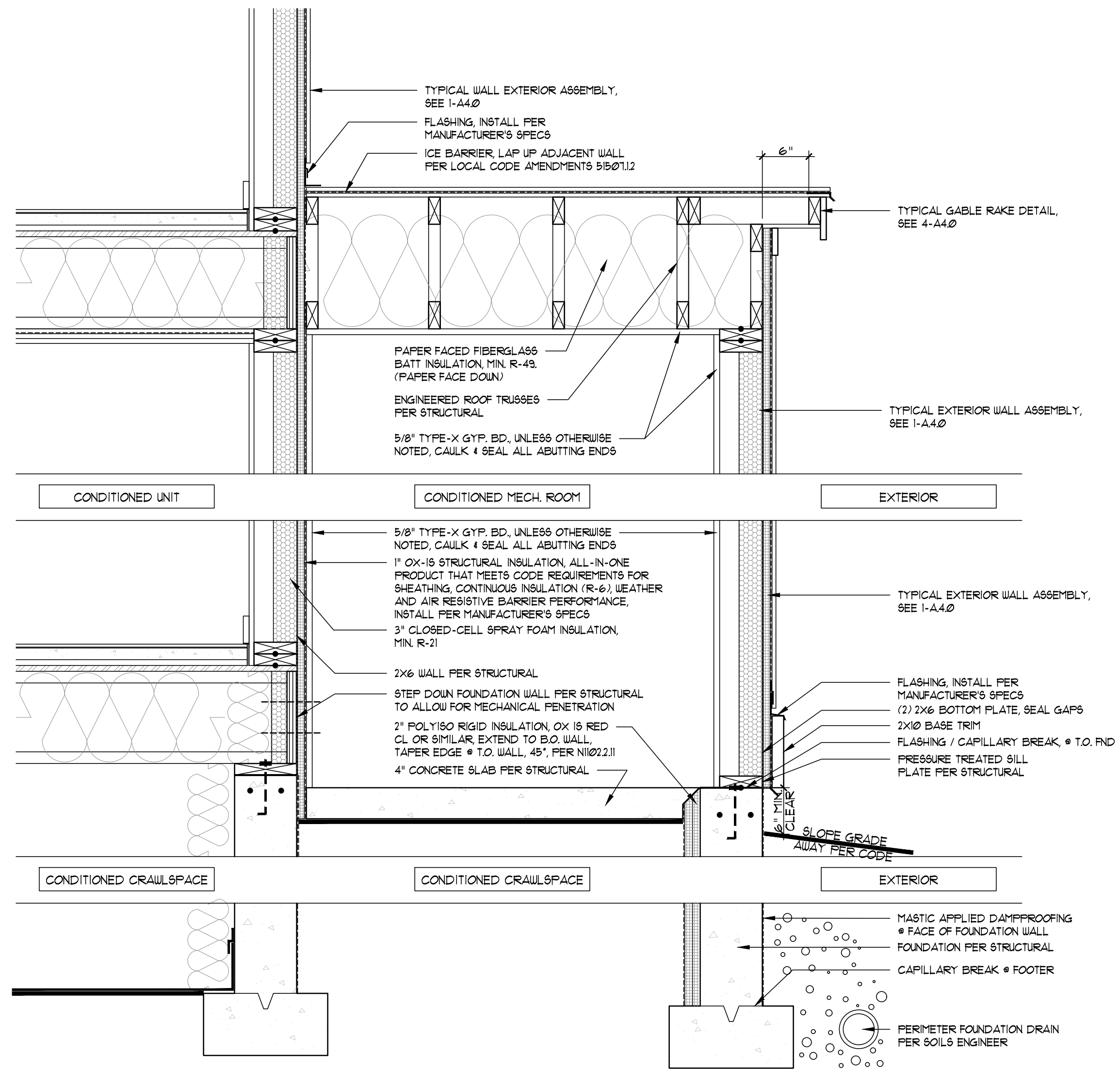
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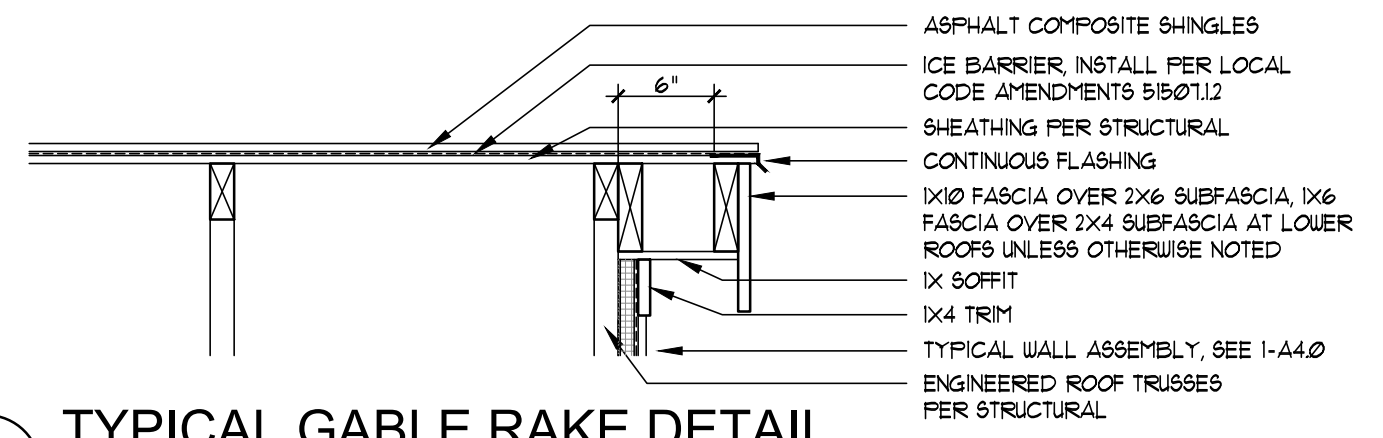
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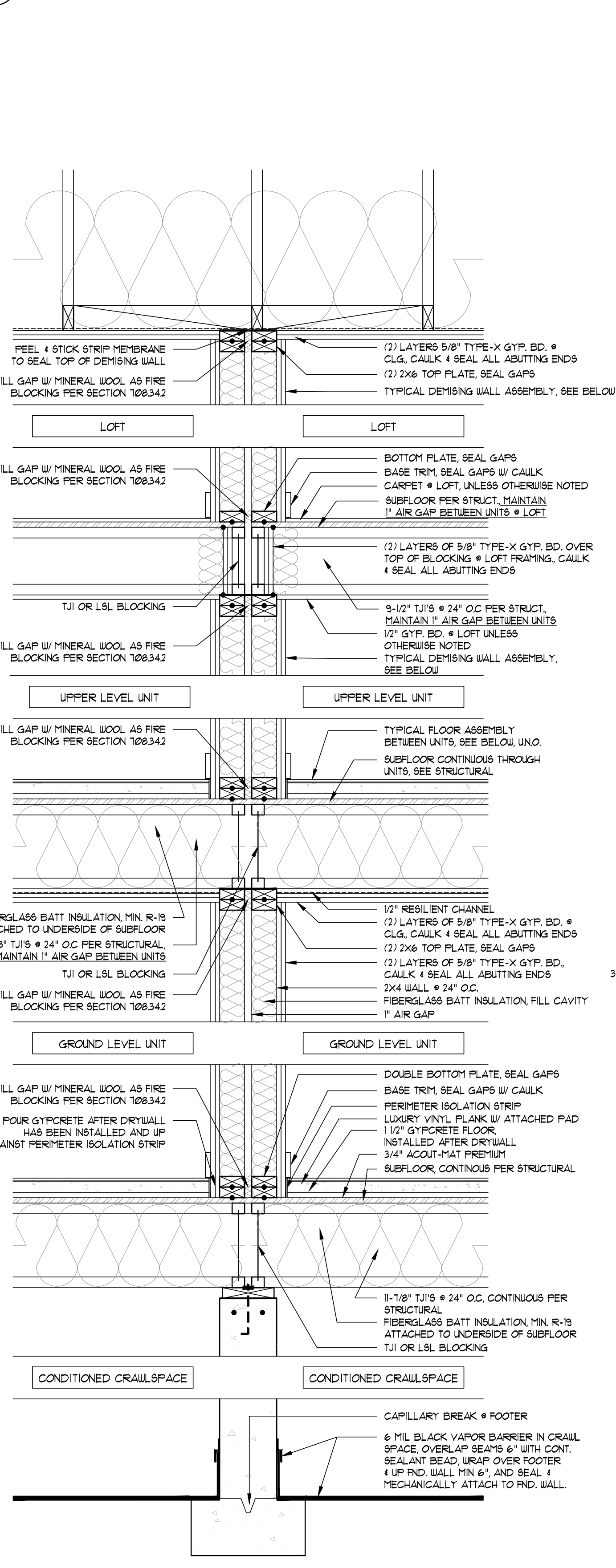
**5 CANTILEVER BUMPOUT DETAIL**  
SCALE: 1"=1'-0"



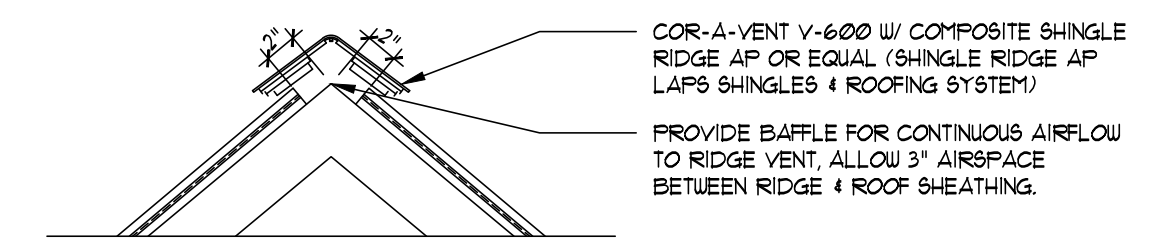
**5 MECHANICAL ROOM WALL DETAIL**  
SCALE: 1"=1'-0"



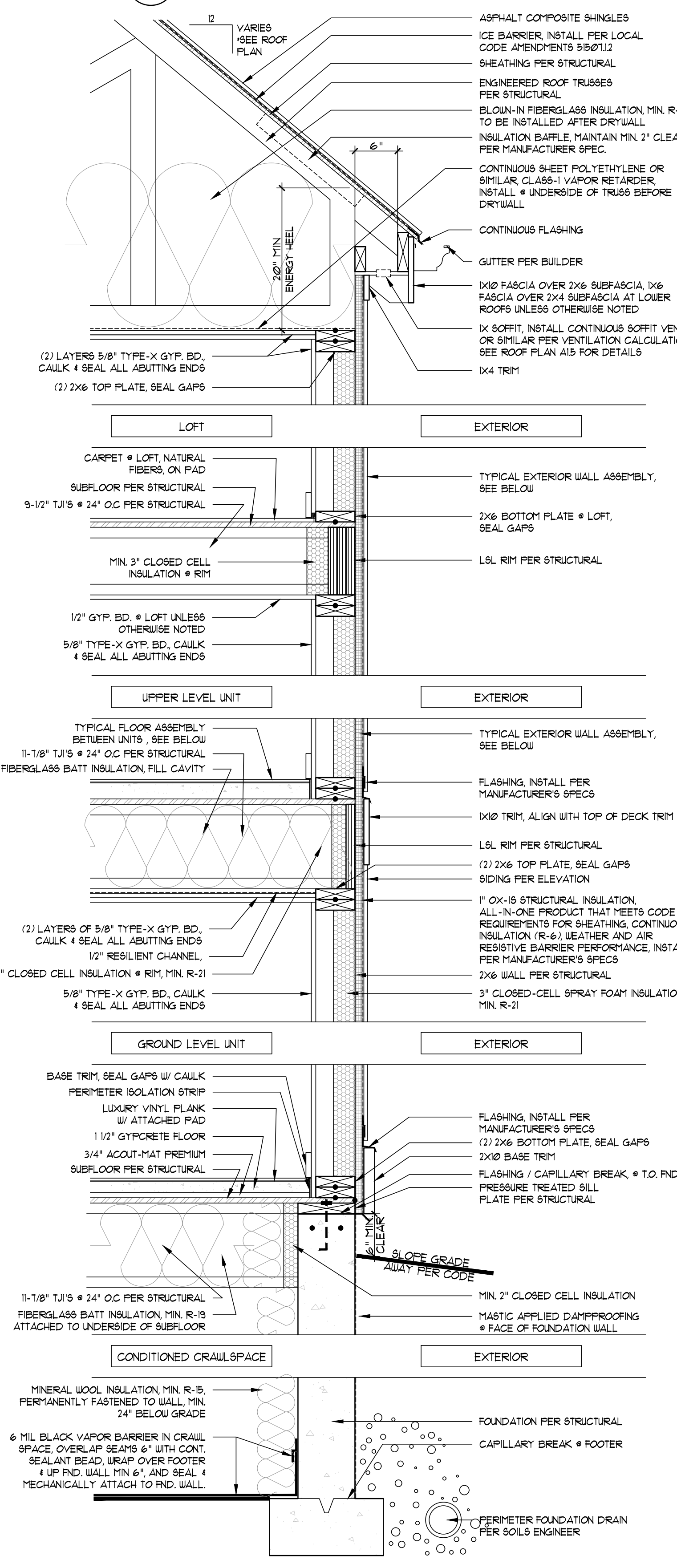
**4 TYPICAL GABLE RAKE DETAIL**  
SCALE: 1"=1'-0"



**2 DEMISING WALL DETAIL**  
SCALE: 1"=1'-0"



**3 RIDGE EXHAUST VENT**  
SCALE: 1"=1'-0"



**1 EXTERIOR WALL DETAIL**  
SCALE: 1"=1'-0"



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OWNER

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EMAIL: MMarchand@BrynnGrey.com

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ISSUES AND REVISIONS

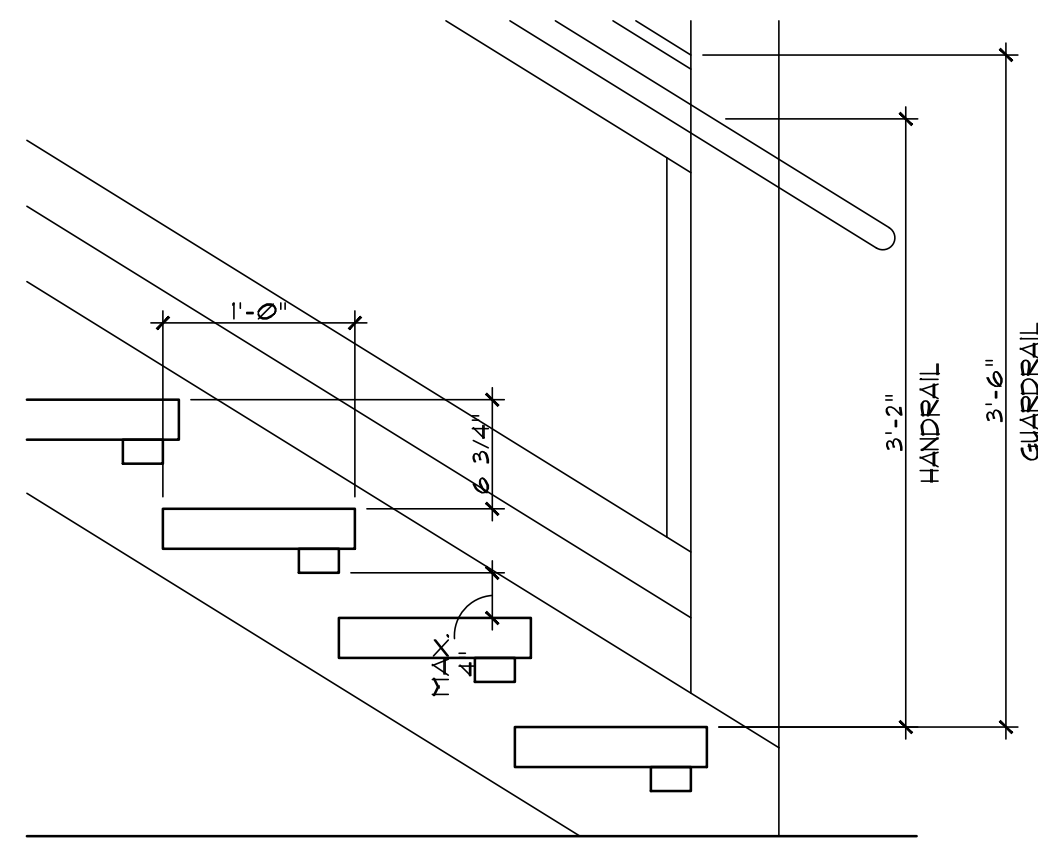
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ARCHITECTURAL DETAILS

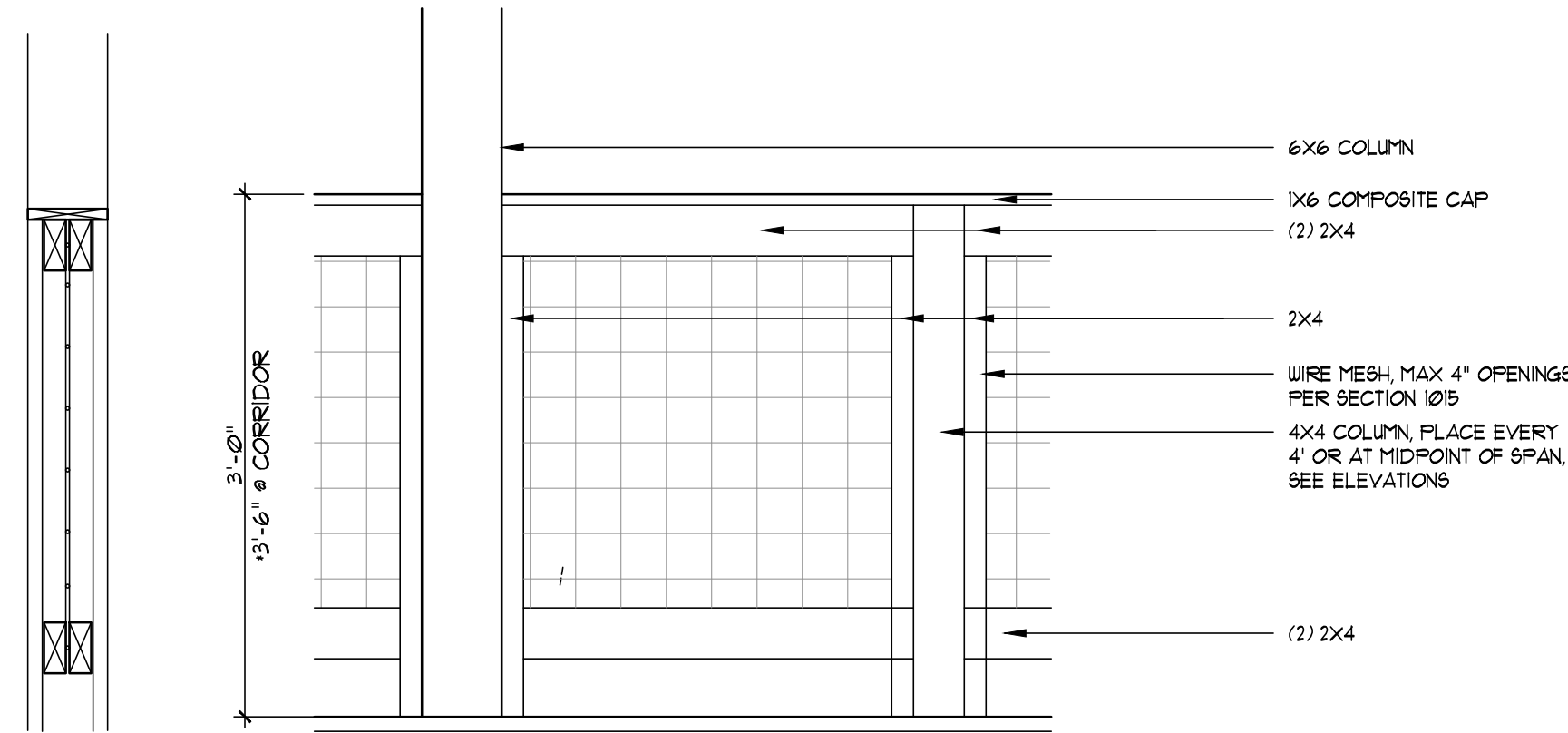
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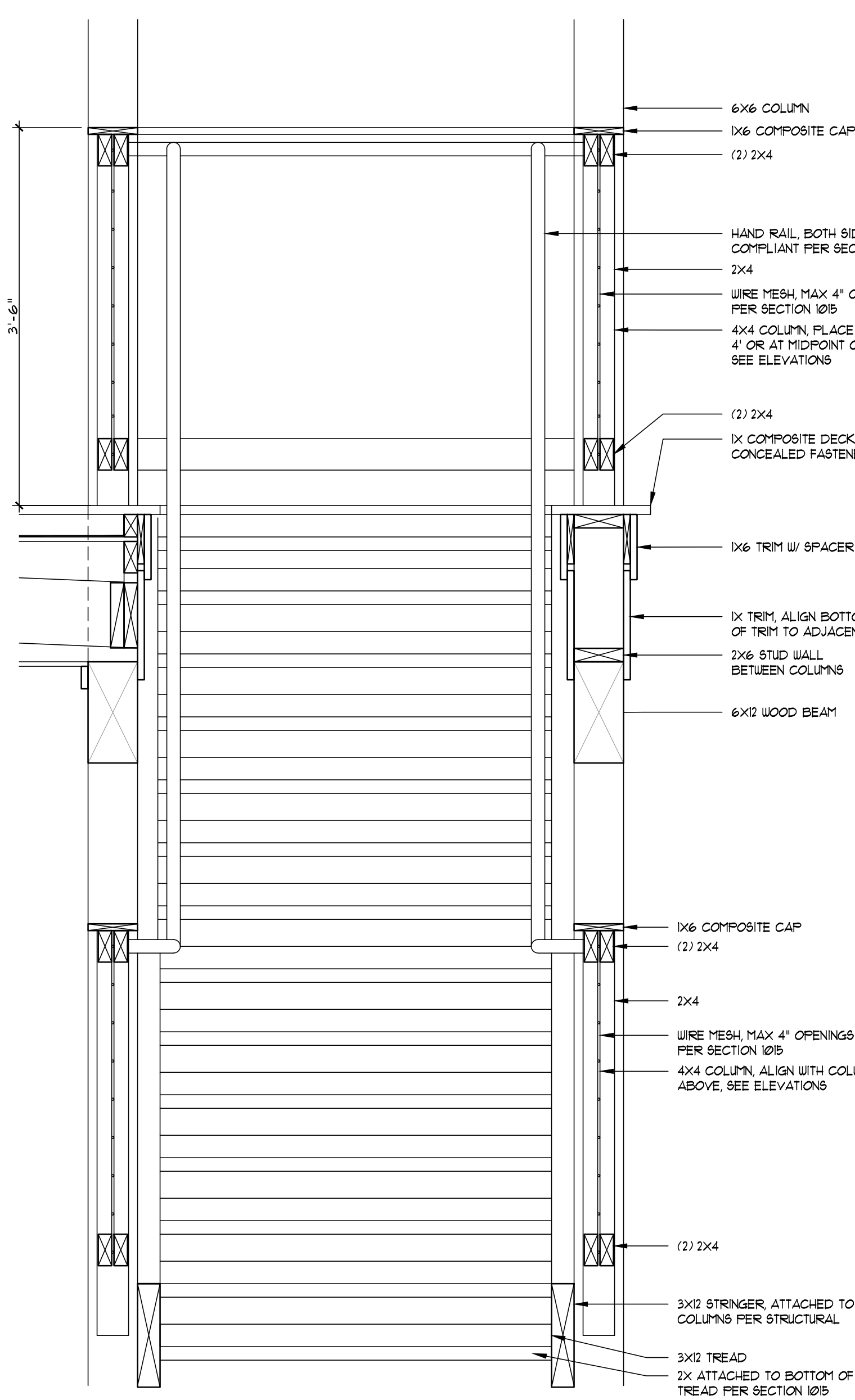
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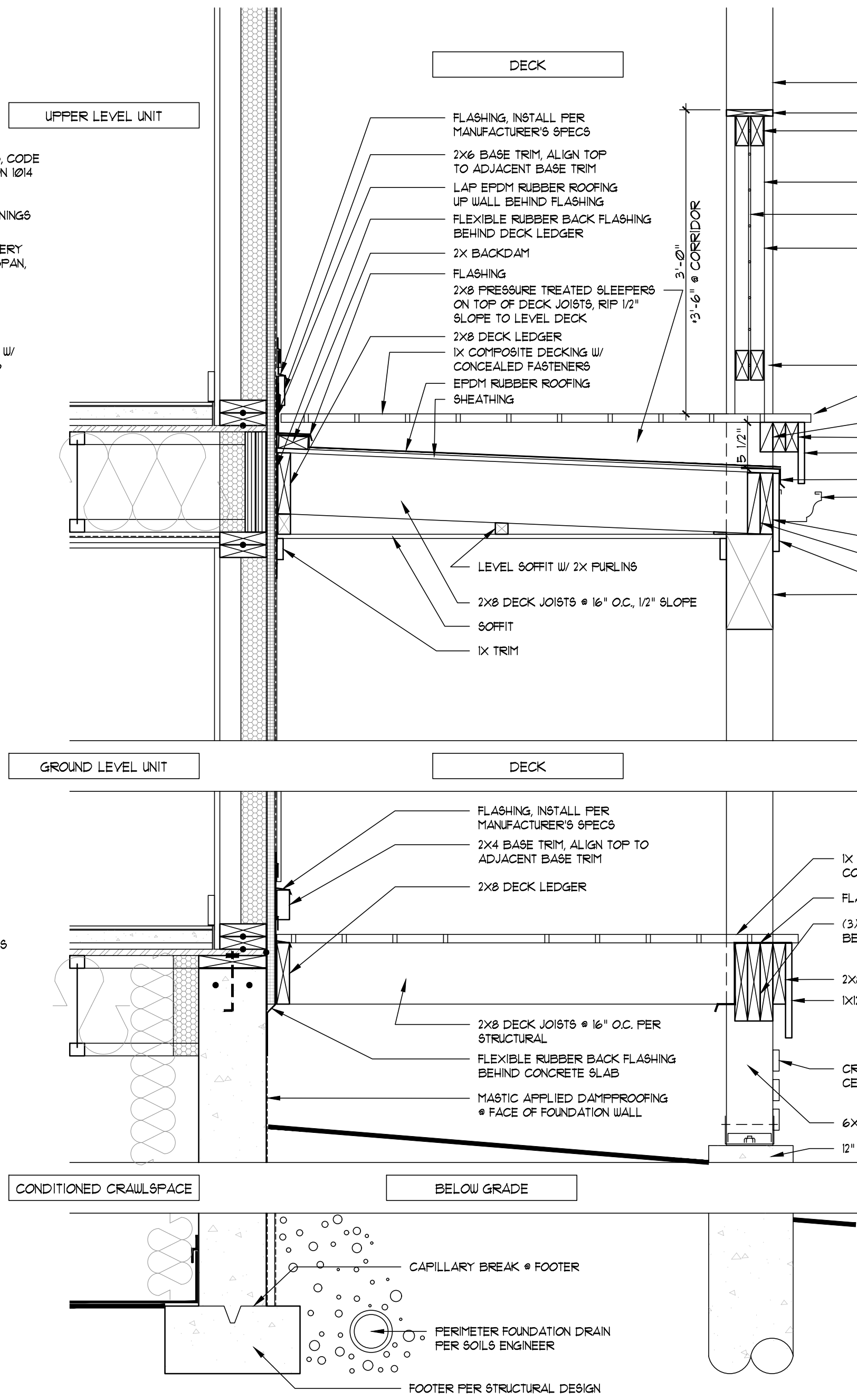
**5** EXTERIOR STAIR DETAIL  
SCALE: 1"=1'-0"



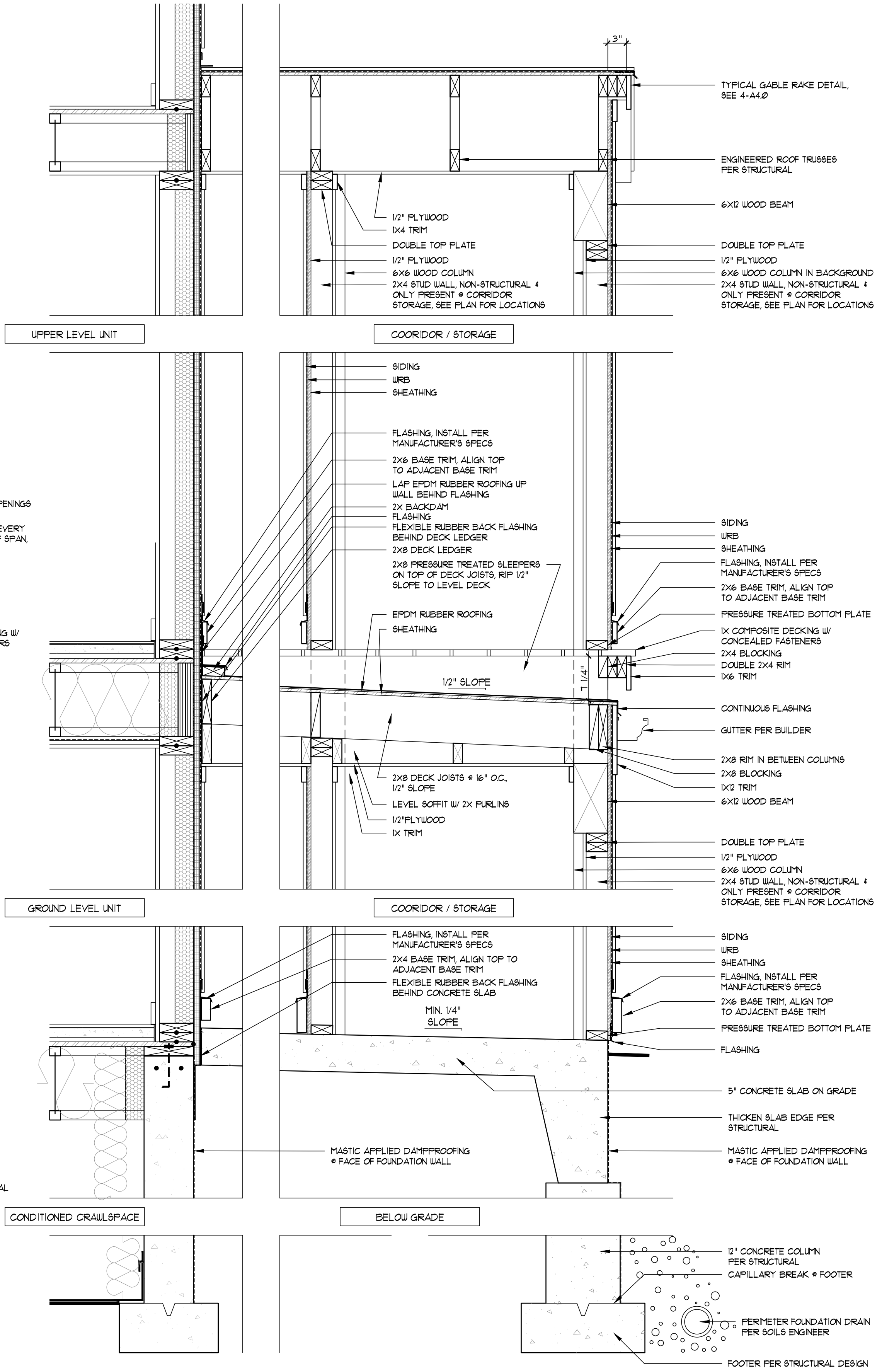
**3** GUARDRAIL DETAIL  
SCALE: 1"=1'-0"



**4** EXTERIOR CORRIDOR STAIR DETAIL  
SCALE: 1"=1'-0"



**2** EXTERIOR DECK DETAIL  
SCALE: 1"=1'-0"



**1** EXTERIOR CORRIDOR DETAIL  
SCALE: 1"=1'-0"



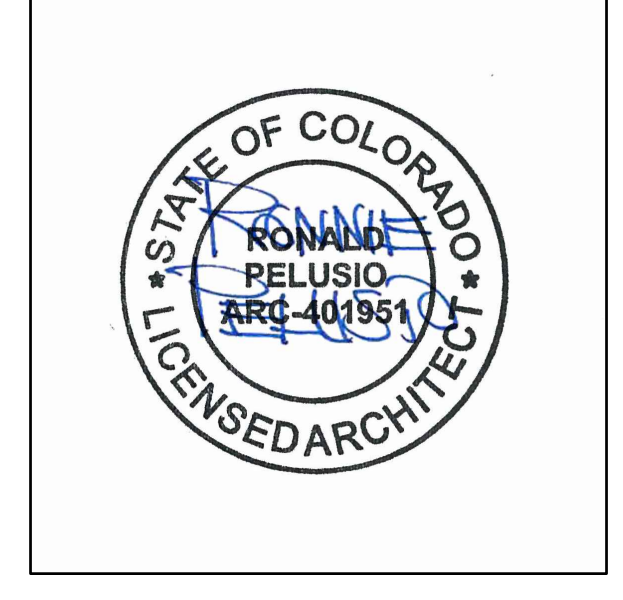
TRADITIONAL NEIGHBORHOOD DEVELOPERS, INC.

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BASECAMP LOFTS + STUDIOS  
22 UNIT BUILDING  
FRISCO, COLORADO 80443

ISSUES AND REVISIONS	DATE	DESCRIPTION

ARCHITECTURAL DETAILS  
**A4.1**  
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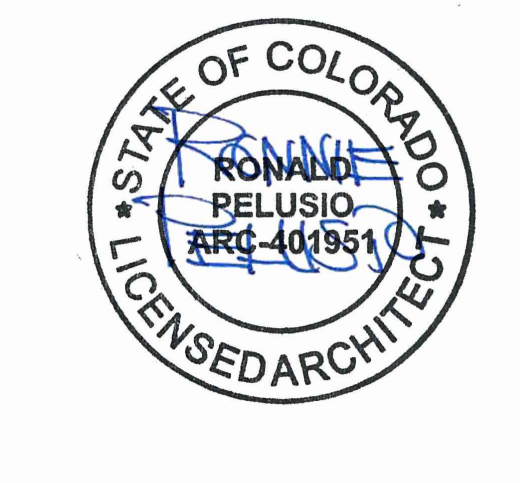
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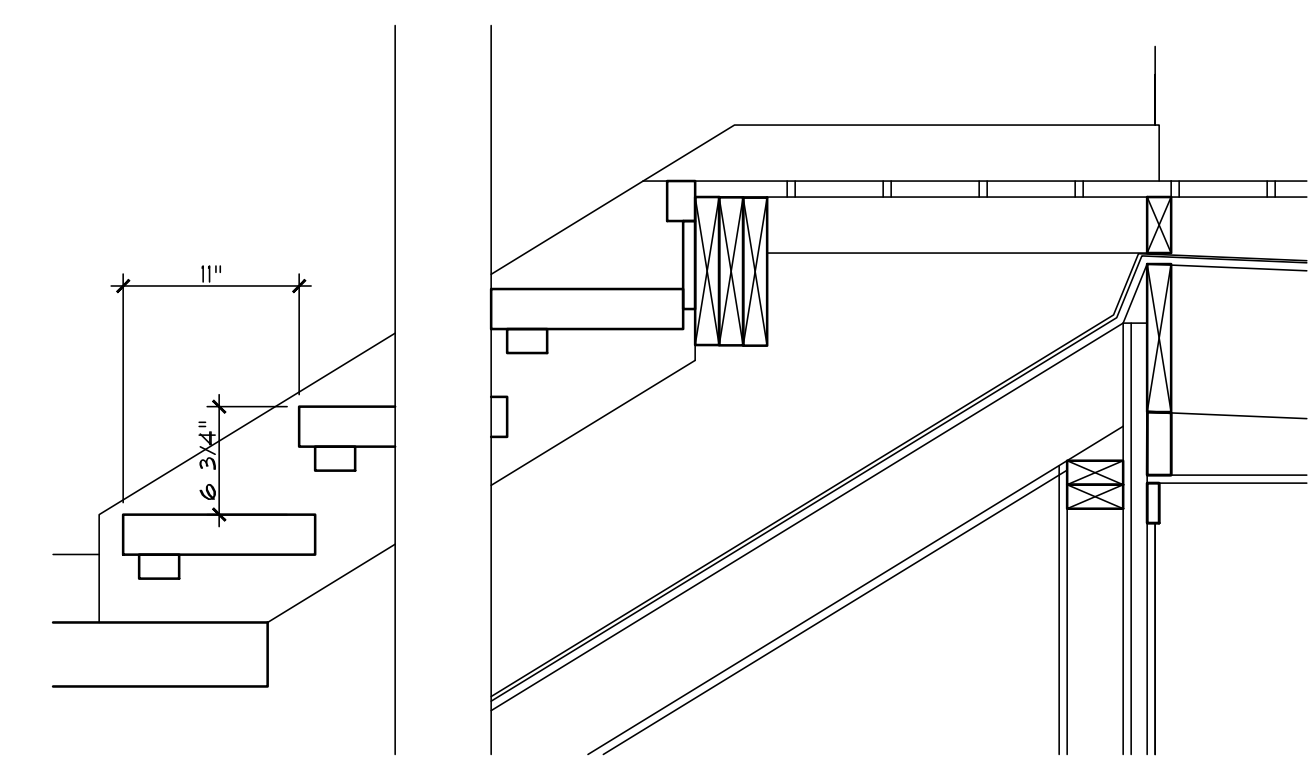
ISSUES AND REVISIONS	DATE	DESCRIPTION

ARCHITECTURAL  
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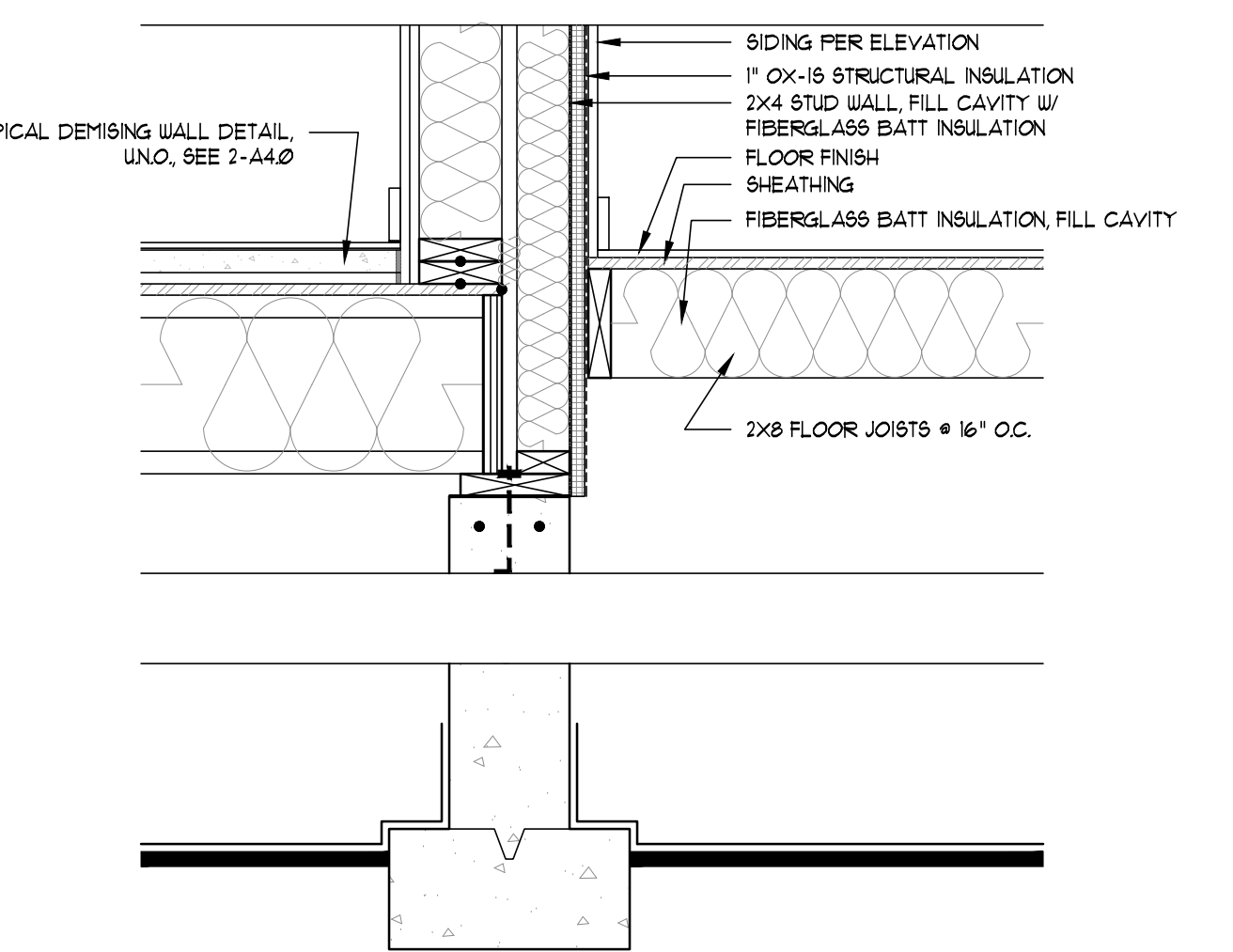
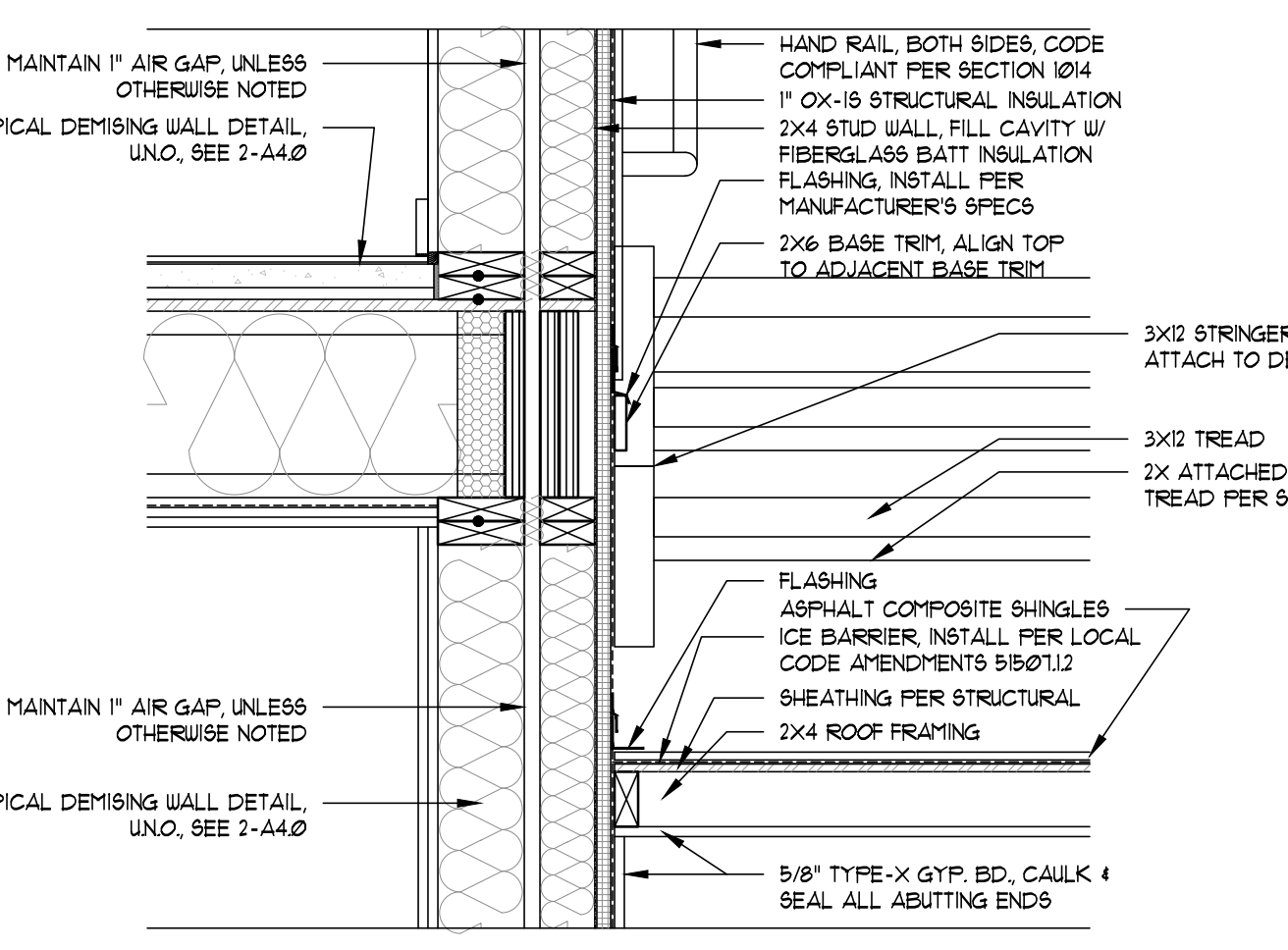
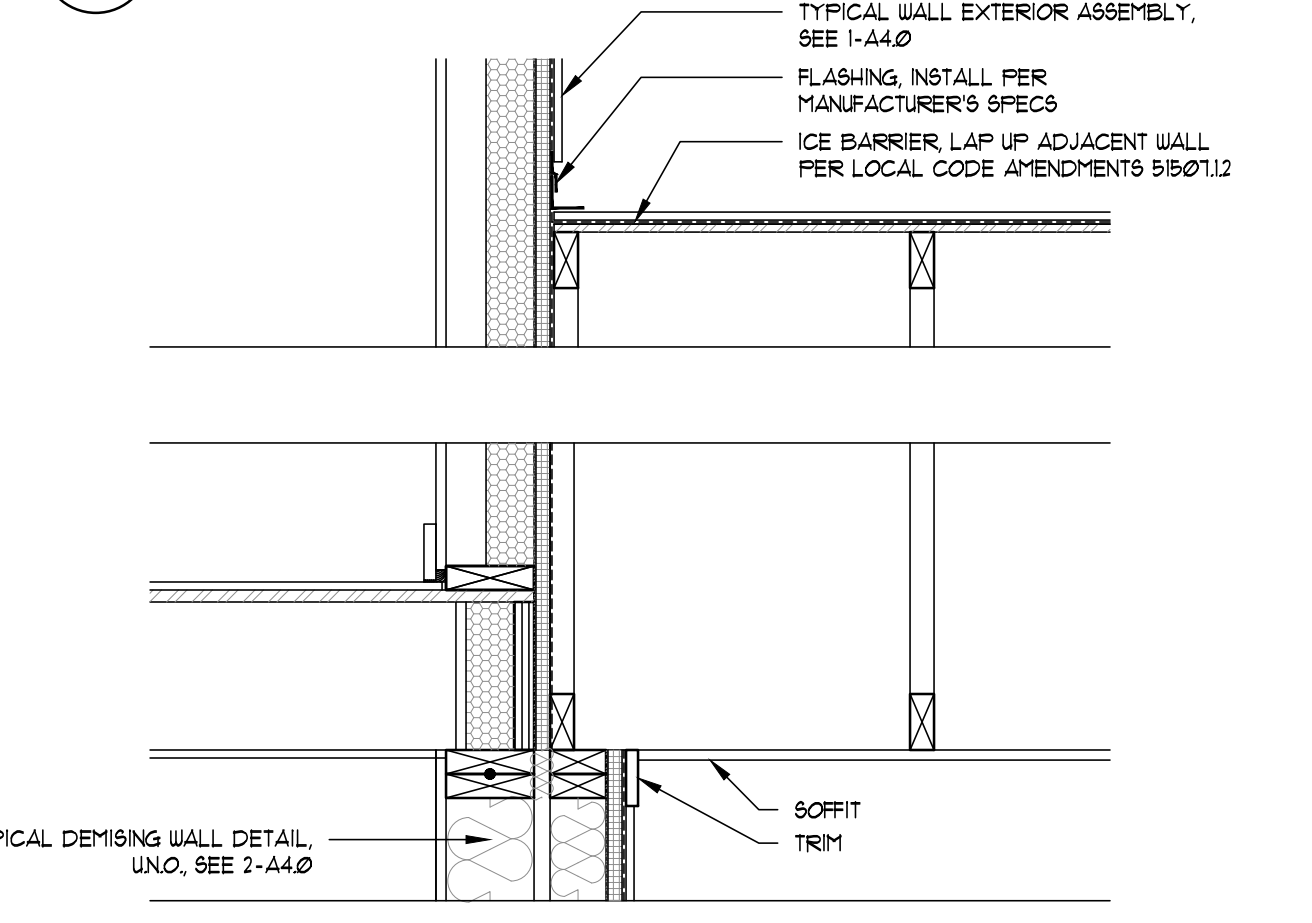
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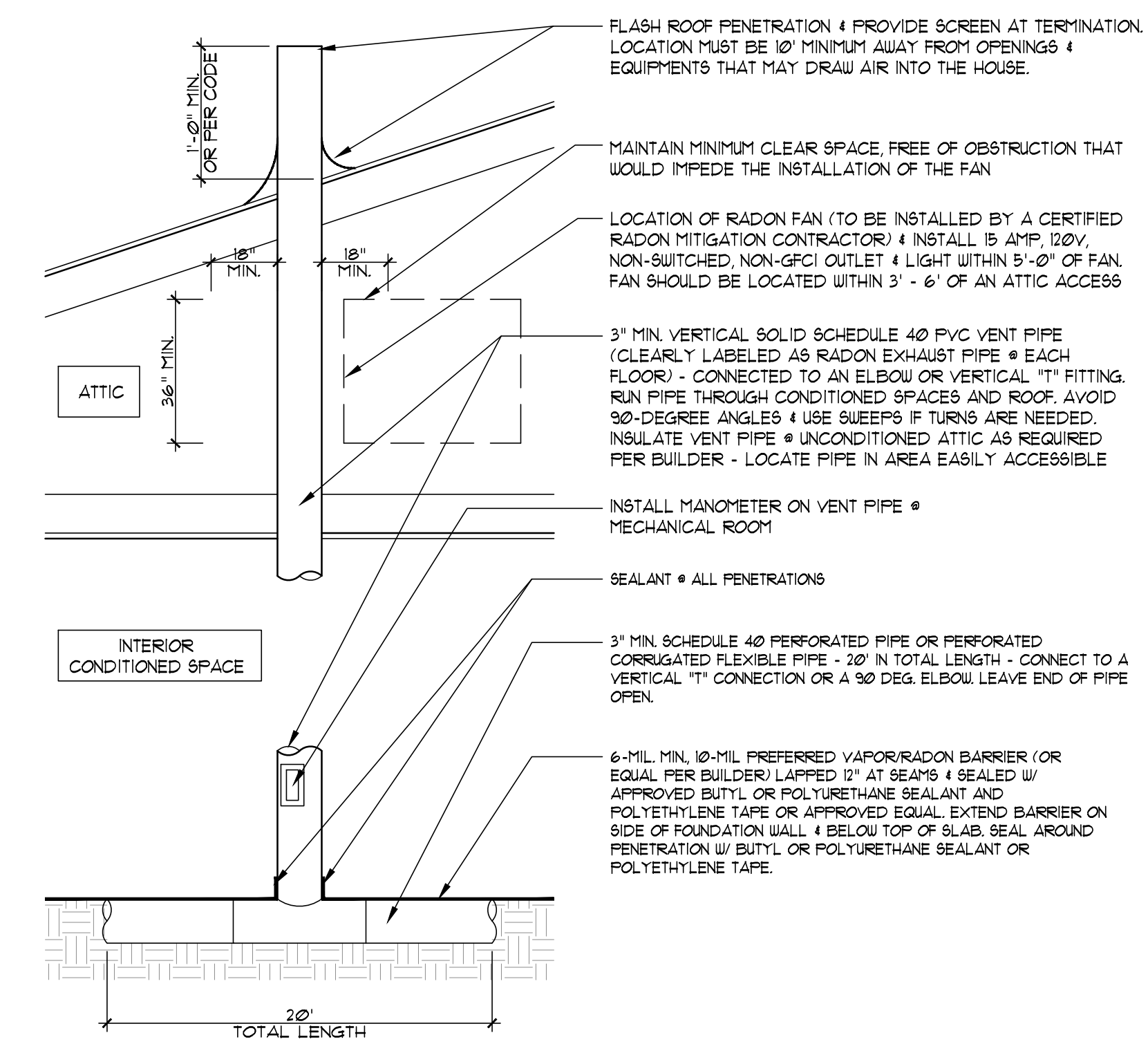
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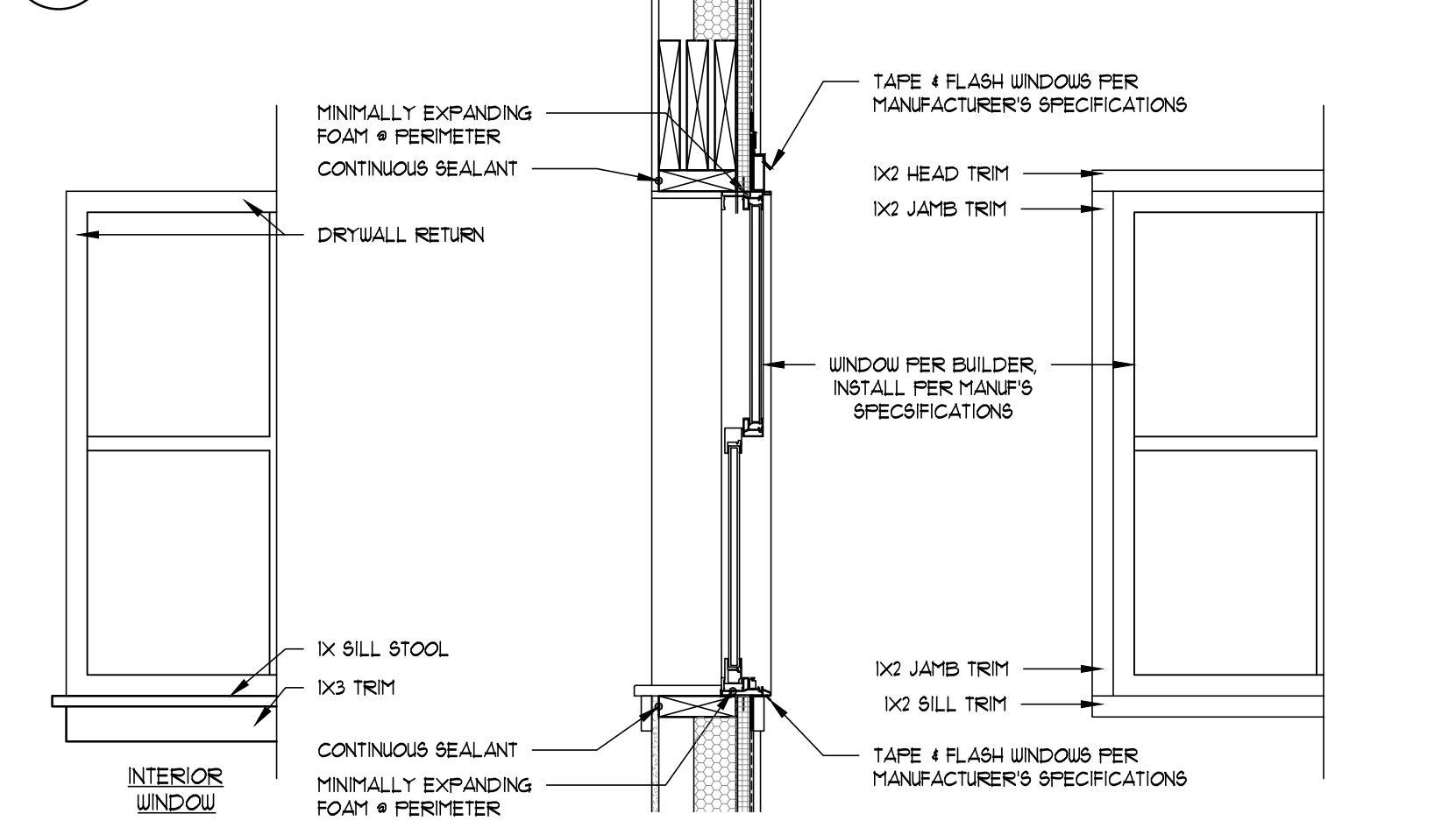
**2 EXTERIOR STAIR DETAIL**  
SCALE: 1"=1'-0"



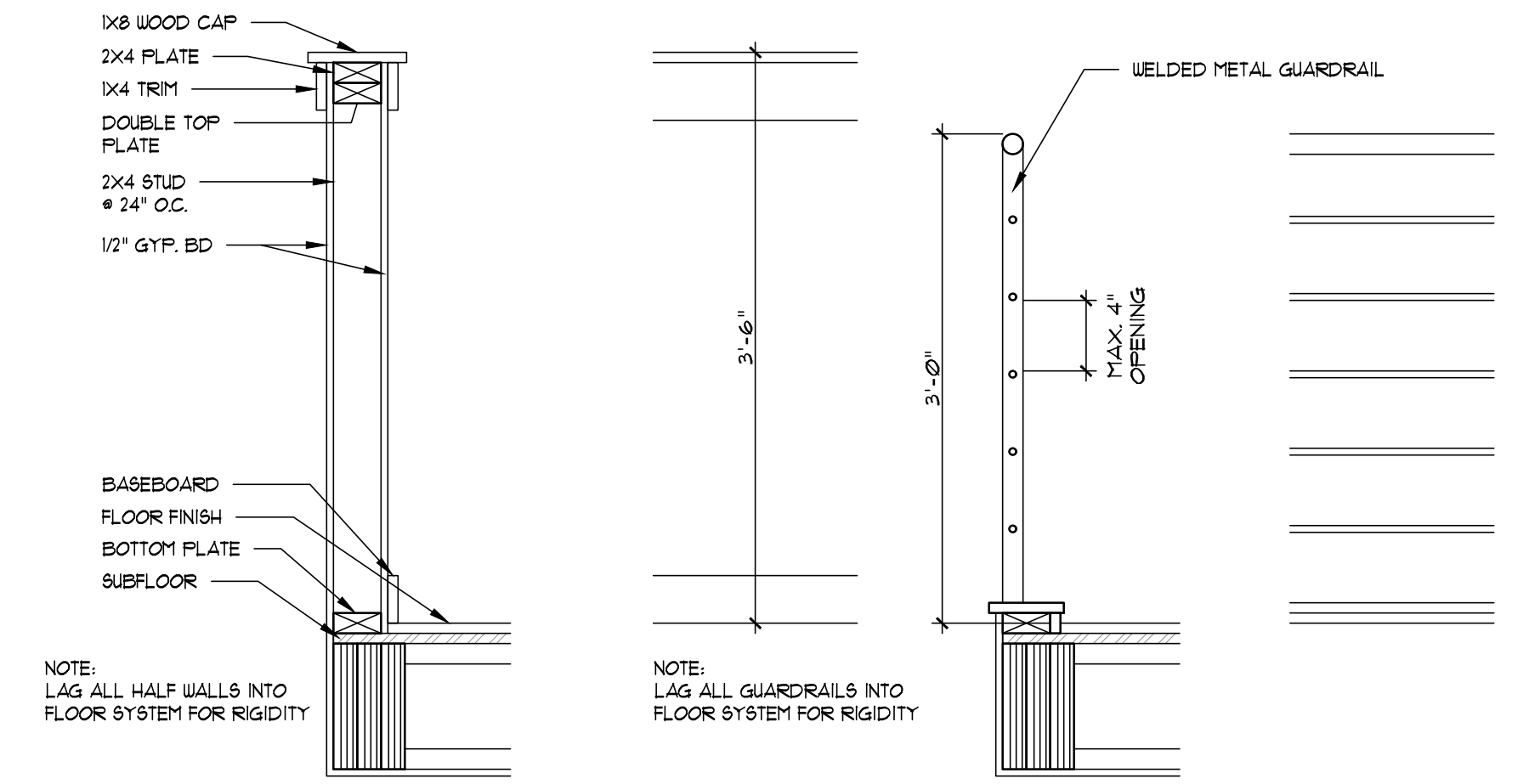
**1 EXTERIOR STAIR BETWEEN UNITS DETAIL**  
SCALE: 1"=1'-0"



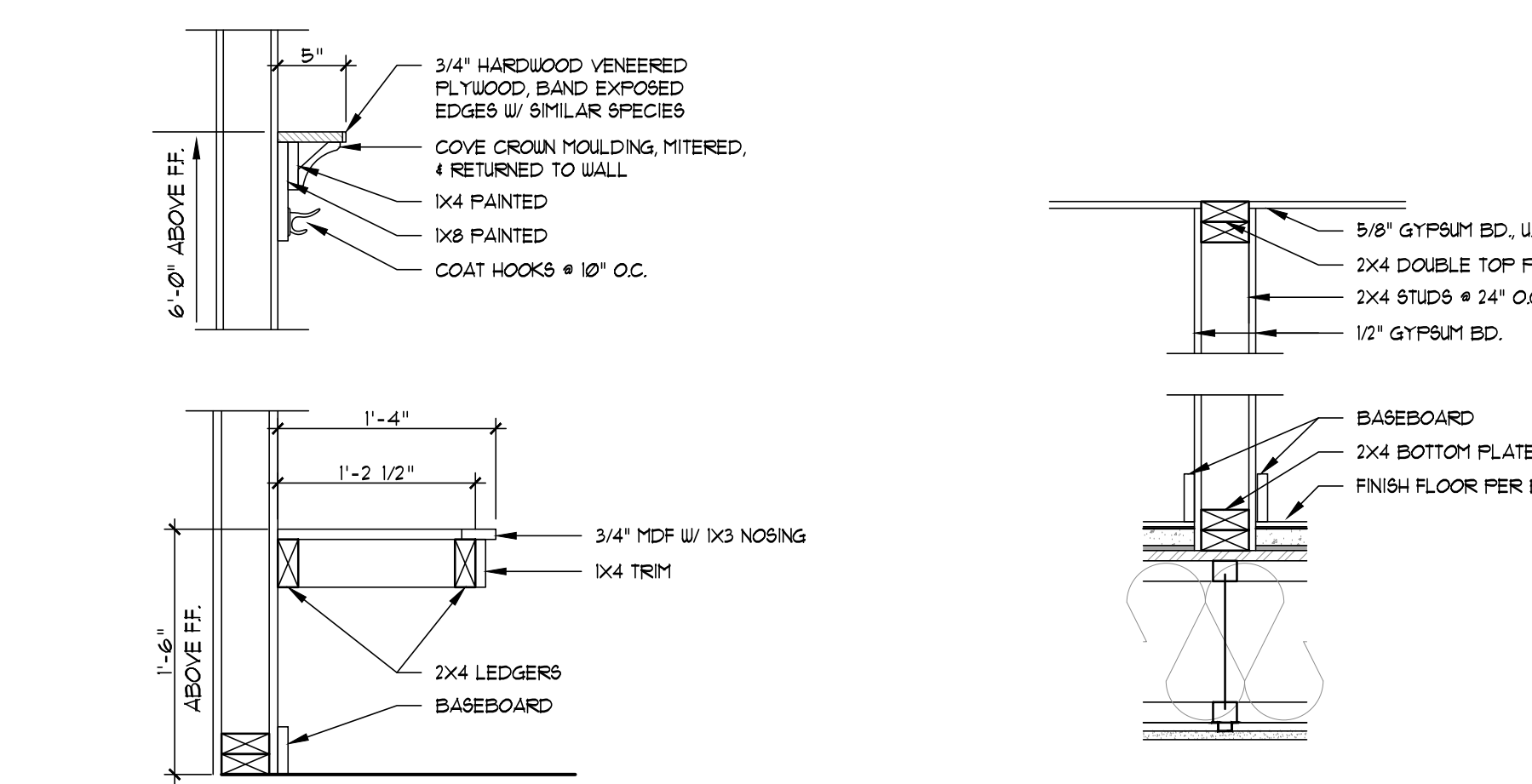
**4 RADON MITIGATION DETAIL**  
SCALE: 1"=1'-0"



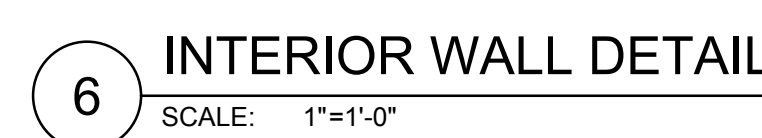
**3 WINDOW TRIM & FLASHING DETAILS**  
SCALE: 1"=1'-0"



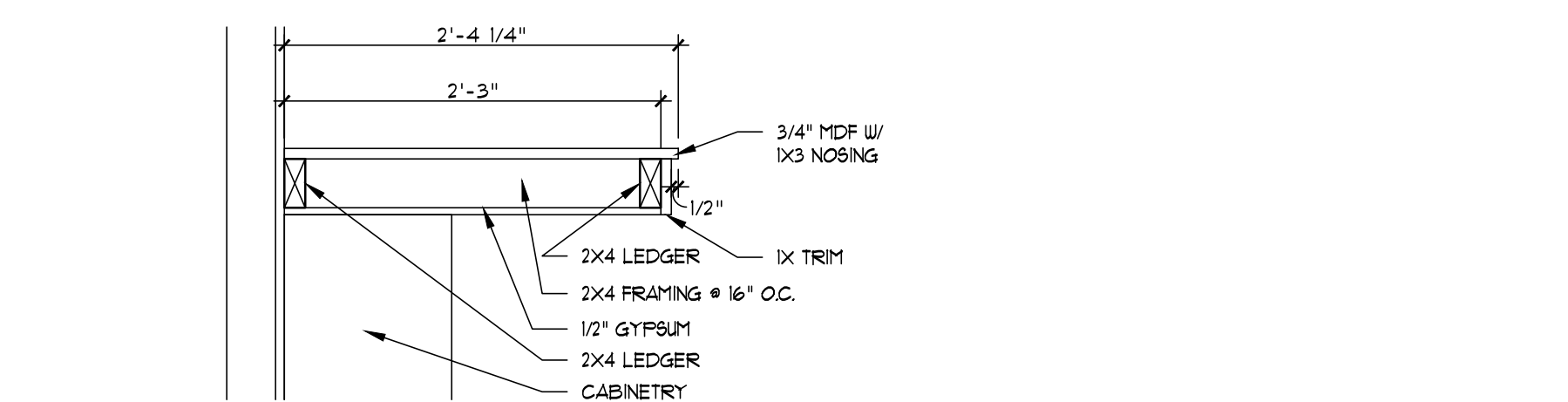
**8 TYP. HALF WALL & GUARDRAIL DETAIL**  
SCALE: 1"=1'-0"



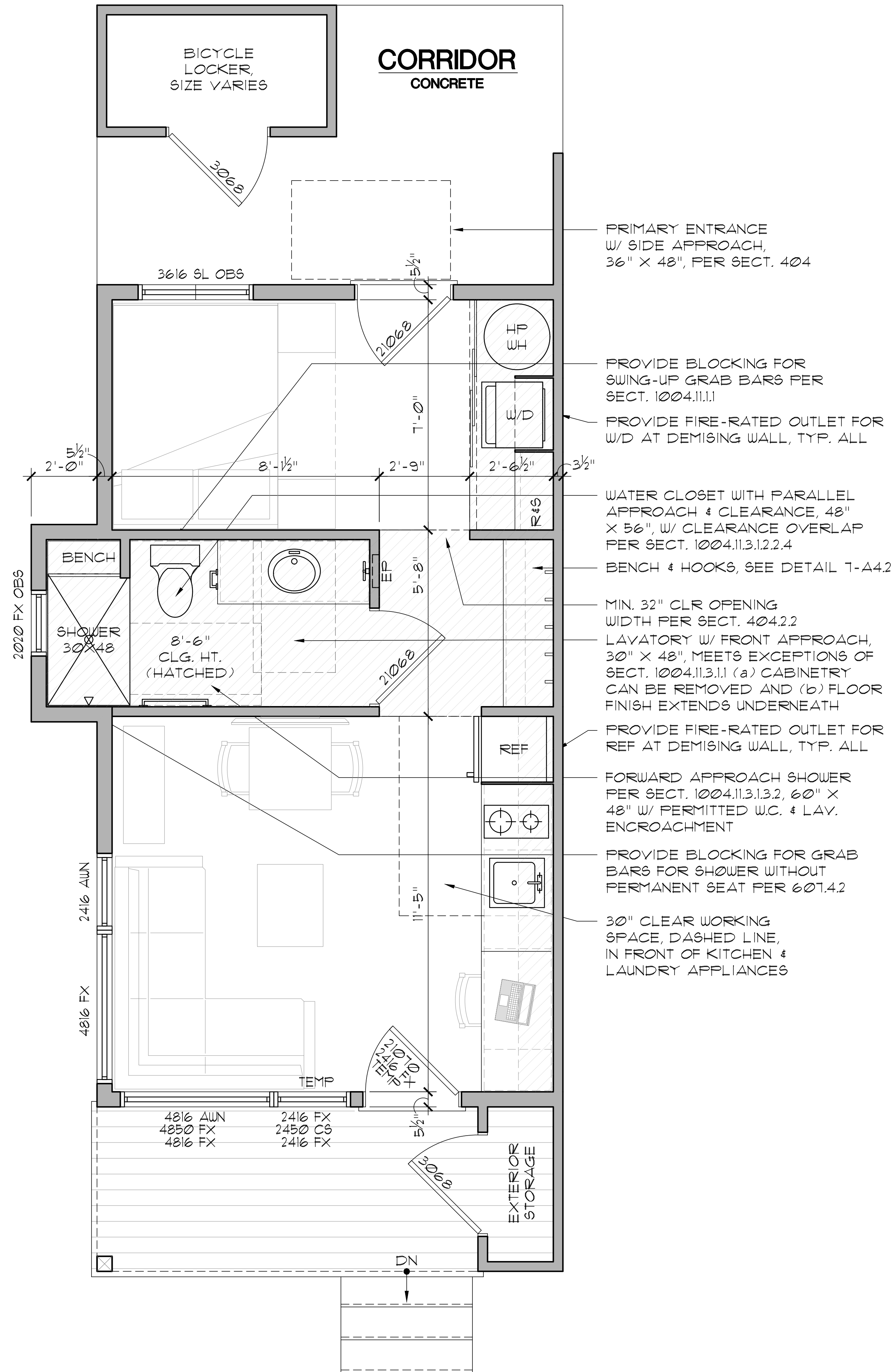
**7 BENCH, HOOK, & SHELF DTL.**  
SCALE: 1"=1'-0"



**6 INTERIOR WALL DETAIL**  
SCALE: 1"=1'-0"

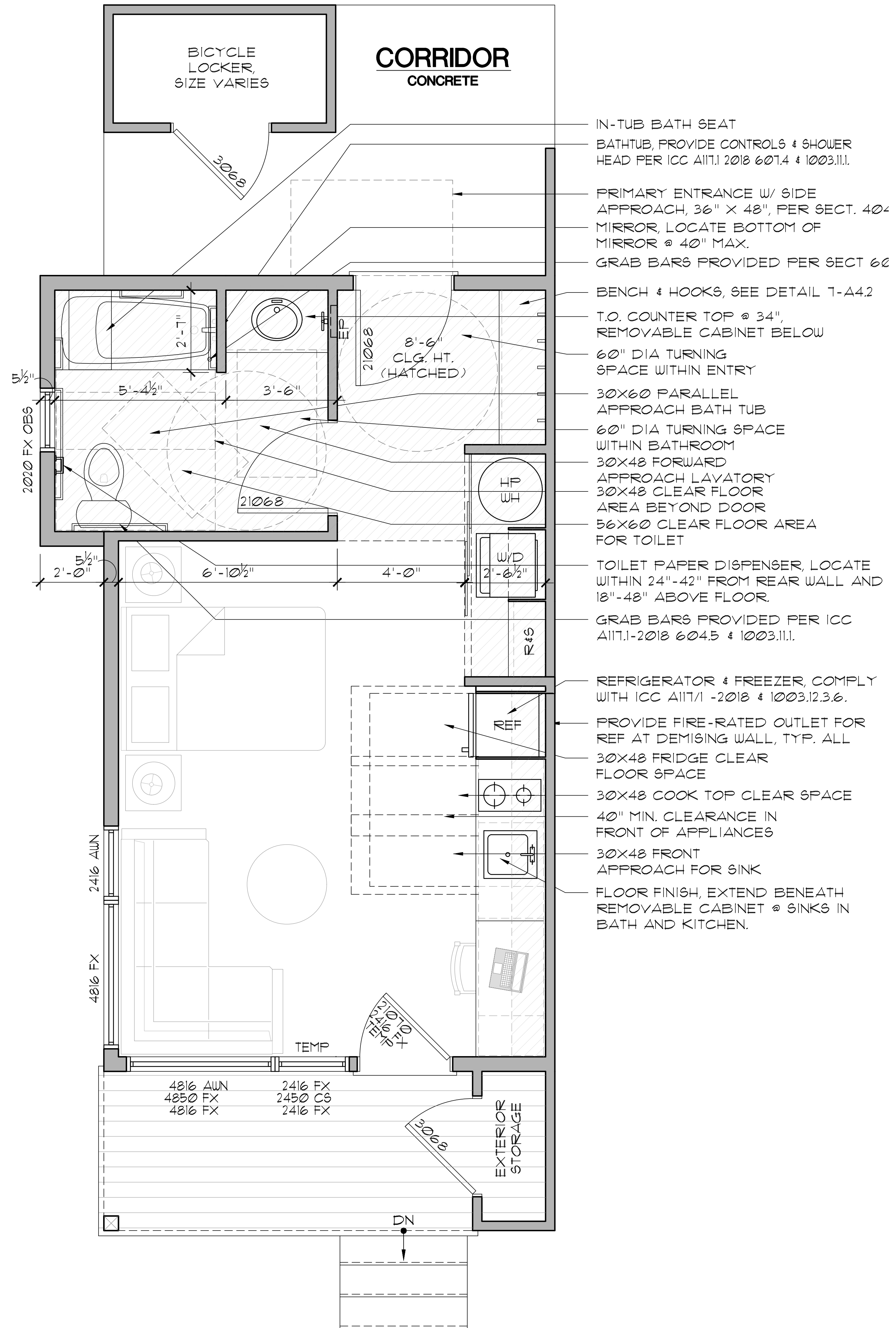


**5 SHELF ABOVE CAB. DTL.**  
SCALE: 1"=1'-0"



**GROUND LEVEL UNIT TYPE-B PLAN**

SCALE: 1/2" = 1'-0" (1/4" = 1'-0" @ 11x17)



**GROUND LEVEL UNIT TYPE-A PLAN**

SCALE: 1/2" = 1'-0" (1/4" = 1'-0" @ 11x17)



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**DEVELOPER**

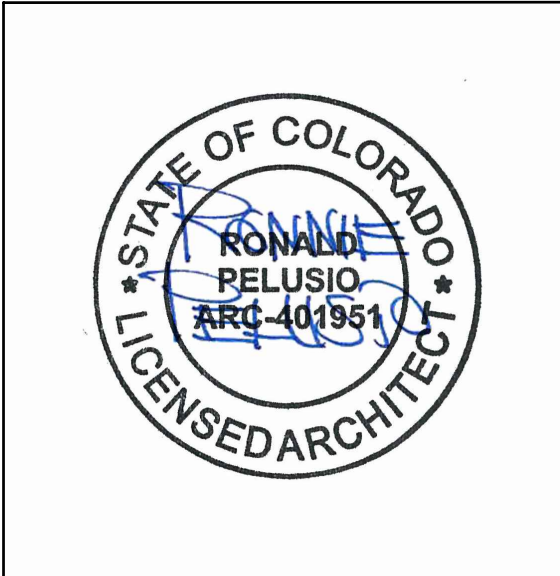
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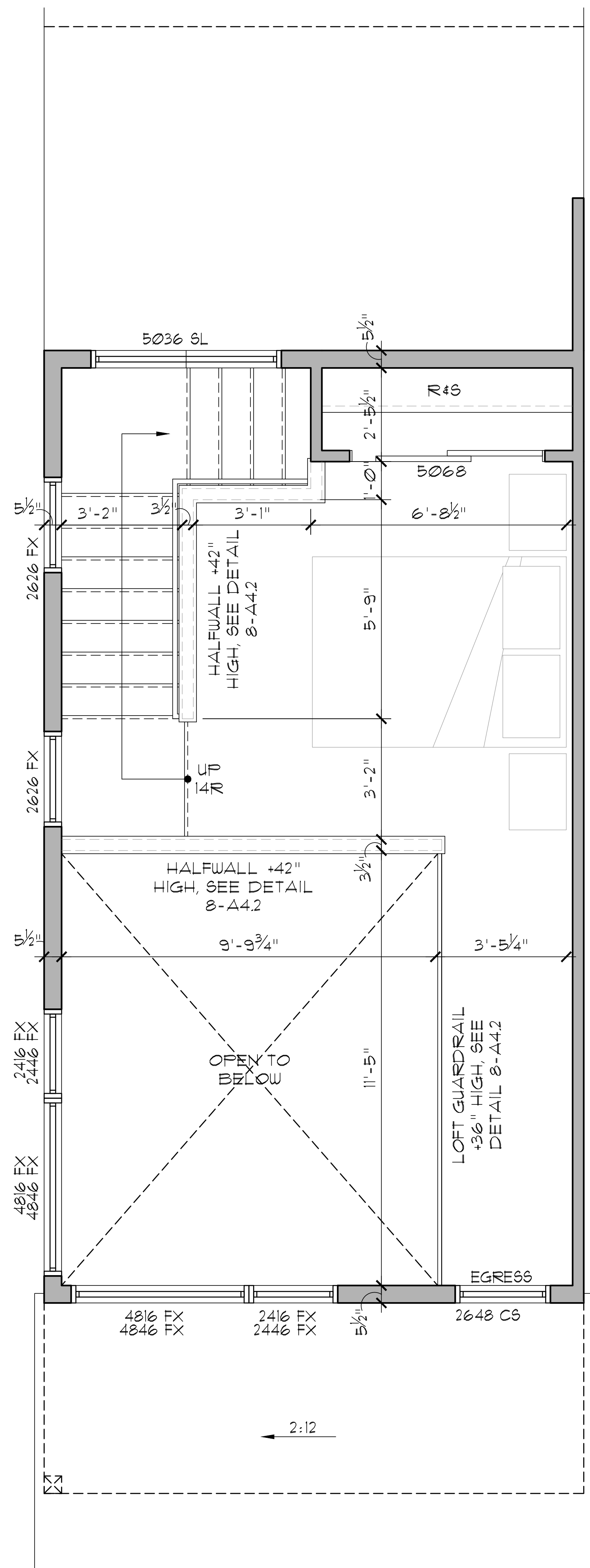
ISSUES AND REVISIONS	DESCRIPTION
DATE	

**UNIT PLANS**

**A5.0**

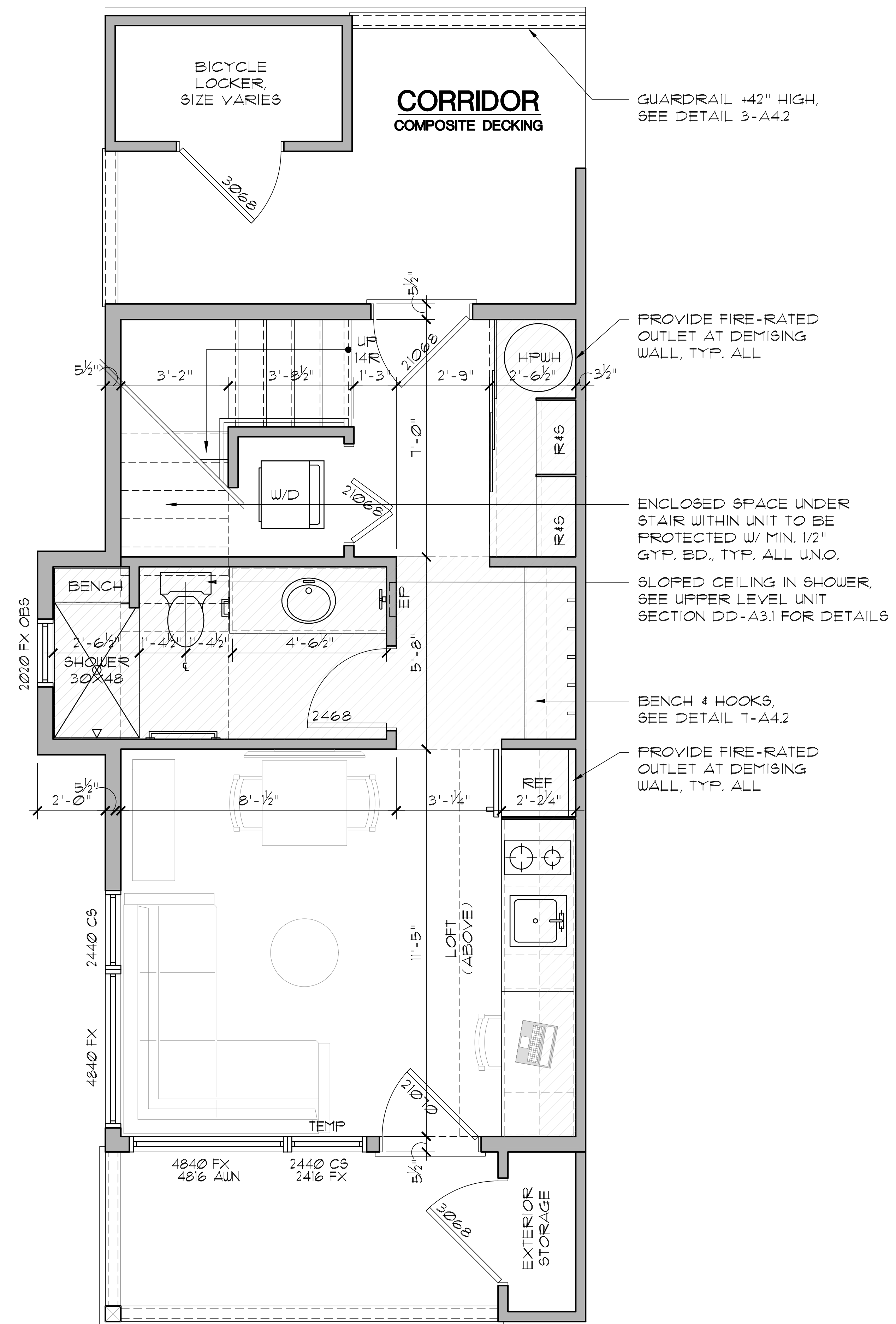
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DATE: 02-15-2023



**GROUND LEVEL UNIT LOFT PLAN**

SCALE: 1/2" = 1'-0" (1/4" = 1'-0" @ 11x17)



**UPPER LEVEL UNIT PLAN**

SCALE: 1/2" = 1'-0" (1/4" = 1'-0" @ 11x17)



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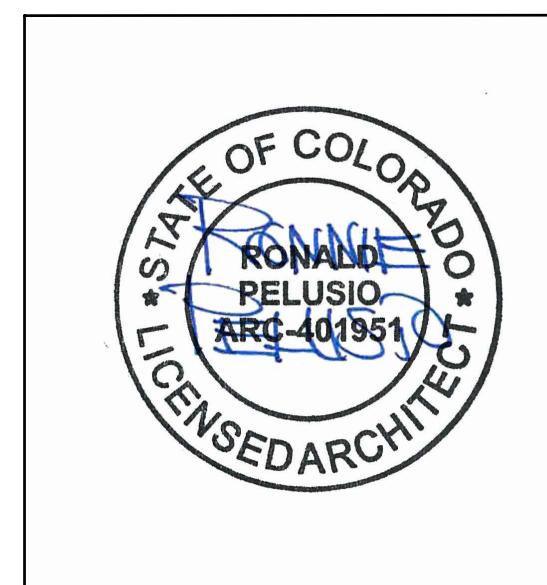
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ISSUES AND REVISIONS	DATE	DESCRIPTION

**UNIT PLANS**

**A5.1**

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DATE: 02-15-2023

# BASECAMP LOFTS + STUDIOS

FRISCO, COLORADO

## 8 UNIT BUILDING

### PROJECT DETAILS

#### PROJECT DESCRIPTION

PROJECT CONTAINS 2 MULTI-FAMILY BUILDINGS WITH 30 RESIDENTIAL UNITS, COVERED & UNCOVERED PARKING, TRASH ENCLOSURES, AND A PUBLIC COURTYARD WITH BRIDGE.

#### PERMIT DESCRIPTION

THIS BUILDING PERMIT IS FOR THE 8 UNIT MULTI-FAMILY BUILDING, 3759 SF, ON THE SOUTH EAST CORNER OF THE SITE.

#### ADDRESS

105 LUSHER COURT FRISCO CO 80443

#### LEGAL DESCRIPTION

LOT 1 BLOCK A DISCOVERY INTERCHANGE WEST SUB ZONING DISTRICT: GW - GATEWAY COMMERCIAL

#### PLANNING APPROVAL

FILE NO. MAJ-22-0001 AND CU-22-0001

### VICINITY MAP



### GENERAL NOTES

1. CODES HAVING JURISDICTION SHALL BE STRICTLY OBSERVED IN THE CONSTRUCTION OF THE PROJECT. ALL APPLICABLE STATE, COUNTY, AND CITY REQUIREMENTS REGARDING BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE CODES SHALL BE VERIFIED BY THE SUBCONTRACTORS BEFORE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE CODE REQUIREMENT AND THE DRAWINGS SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
2. CONTACT THE OWNER FOR CLARIFICATION OF ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS. ANY CHANGES TO THE CONTRACT DOCUMENTS SHALL BE REVIEWED AND APPROVED BY THE OWNER & ARCHITECT PRIOR TO ANY CONSTRUCTION.
3. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL OF THE NECESSARY INFORMATION REQUIRED TO COMPLETE A MAJORITY OF THE WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ALL CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND / OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR NEGLECTED IN THE DOCUMENTS.
4. ANY DISCREPANCY FOUND BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
5. SHOP DRAWINGS MAY BE SUBMITTED TO THE ARCHITECT FOR THEIR REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK BEGINS, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS AND BE SUBJECT TO REPLACEMENT AS DEEMED NECESSARY BY THE ARCHITECT.
6. CONTRACTOR AND APPLICABLE TRADES WORKING ON THE JOB SHALL CONSULT WITH AND FOLLOW PREPARED SOILS REPORT RECOMMENDATIONS.
7. CONTRACTOR TO COORDINATE TOP OF FOUNDATION WALL ELEVATIONS WITH INFORMATION INDICATED ON THESE DRAWINGS, STRUCTURAL ENGINEER'S FOUNDATION PLANS AND FINAL SITE GRADING.
8. PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION PER SOILS REPORT RECOMMENDATIONS.
9. DO NOT SCALE DRAWINGS.
10. ALL DIMENSIONS ARE TO ROUGH FACE OF STUDS UNLESS INDICATED OR NOTED OTHERWISE.
11. FRAMING CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ALL SUBCONTRACTORS TO DETERMINE THE LOCATION OF ALL FIXTURES, APPLIED TREATMENTS, EQUIPMENT, HARDWARE ITEMS, ETC., AND PROVIDE THE SOLID STRUCTURAL BLOCKING AND/OR EXTRA FRAMING NECESSARY FOR SAFE AND SOUND ANCHORAGE AND/OR SUPPORT.
12. CEMENTITIOUS WALL BOARD SHALL BE USED AT ALL WET AREAS AS REQUIRED BY BUILDING CODE.
13. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERNS SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.
14. VERIFY ALL LOCATIONS, SPANS AND SPACING OF BEAMS, BEARING WALLS, POINT LOADS, JOISTS, RAFTERS AND TRUSSES WITH STRUCTURAL ENGINEER'S DRAWINGS AND CALCULATIONS.
15. VERIFY ALL FINISHED EGRESS WINDOW SILLS AT BEDROOMS ARE 36" MIN. ABOVE FINISHED FLOOR & MAX OF 42" ABOVE FINISHED FLOOR.
16. VERIFY ALL FINISHED EGRESS WINDOW HAVE COMPLIANT OPENING HARDWARE.
17. ALL FINISHED MATERIALS USED WITHIN BUILDING SHALL COMPLY WITH IRC SECTIONS, PLANS AND ELEVATIONS ARE DIAGRAMATIC. REFER TO DETAILS AND SPECIFICATIONS FOR ALL SPECIFIC ASSEMBLIES, DIMENSIONS AND MATERIALS. IN THE EVENT OF A DISCREPANCY BETWEEN DOCUMENTS, NOTIFY THE ARCHITECT FOR CLARIFICATION.
18. ALL INTERIOR DOORS TO BE PLACED 6" FROM PERPENDICULAR WALL @ HINGE SIDE UNLESS OTHERWISE NOTED.

### PROJECT DIRECTORY

#### OWNER

ALPINE INN, LLC  
PO BOX 4473  
FRISCO, CO 80443  
CONTACT: LESTER WARPECHA

#### DEVELOPER

BASECAMP RESIDENCES, LLC  
777 PEARL STREET SUITE 200  
BOULDER, CO 80302  
PHONE: 225-276-1992  
CONTACT: MICHAEL MARCHAND

#### ARCHITECT

PEL-ONA ARCHITECTS & URBANISTS  
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PHONE: 303-443-7876  
CONTACT: RONNIE PELUSIO

WOLFF LYON ARCHITECTS  
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PHONE 303-447-2786  
CONTACT: TOM LYON

#### GENERAL CONTRACTOR

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777 PEARL STREET SUITE 200  
BOULDER, COLORADO 80302  
PHONE: 970-261-7700  
CONTACT: DAVID O'NEIL

#### STRUCTURAL

ON SITE STRUCTURAL ENGINEERING, LLC  
1255 CIMARRON DRIVE, SUITE 202  
LAFAYETTE, CO 80026  
PHONE: 720-341-7093  
CONTACT: JONATHAN WALLACE, PE

#### MEP ENGINEER

BOULDER ENGINEERING  
1717 15TH STREET  
BOULDER, CO 80302  
PHONE: 303-444-6038  
CONTACT: ETHAN MILEY

#### CIVIL ENGINEER

CIVIL INSIGHTS, LLC  
235 SOUTH RIDGE STREET,  
SUITE 2A, PO BOX 7644  
BRECKENRIDGE, CO 80424  
PHONE: 970-771-2940  
CONTACT: DON LEINWEBER, PE

#### LANDSCAPE ARCHITECT

NORRIS DESIGN  
PO BOX 2320  
409 EAST MAIN STREET,  
SUITE 207  
FRISCO, CO 80443  
PHONE: 970-368-7068  
CONTACT: MEGAN TESTIN

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A0.3	LIFE SAFETY DIAGRAMS	S1.4	LOFT FRAMING PLAN
		S1.5	ROOF FRAMING PLAN
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A5.1	UNIT PLAN TYPES		

**PEL-ONA**  
ARCHITECTS & URBANISTS

TRADITIONAL NEIGHBORHOOD DEVELOPERS, INC.

#### OWNER

ALPINE INN, LLC  
PO BOX 4473  
FRISCO, CO 80443  
CONTACT: LESTER WARPECHA

#### DEVELOPER

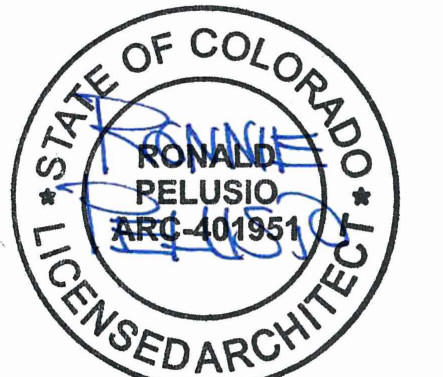
BASECAMP RESIDENCES, LLC  
777 PEARL STREET, SUITE 200  
BOULDER, CO 80302  
PHONE: 225-276-1992  
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EMAIL: Tom@Wlarch.com



BASECAMP  
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8 UNIT BUILDING  
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#### ISSUES AND REVISIONS

DATE: DESCRIPTION

#### COVER SHEET

**A0.0**

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**OWNER**

ALPINE INN, LLC  
PO BOX 4473  
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**DEVELOPER**

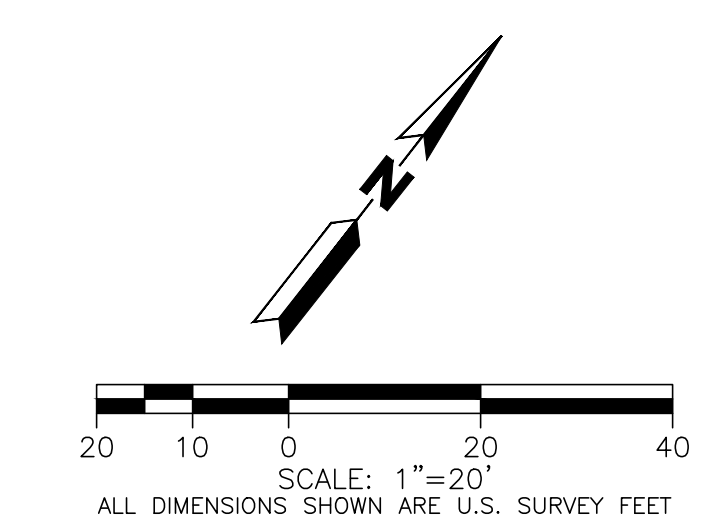
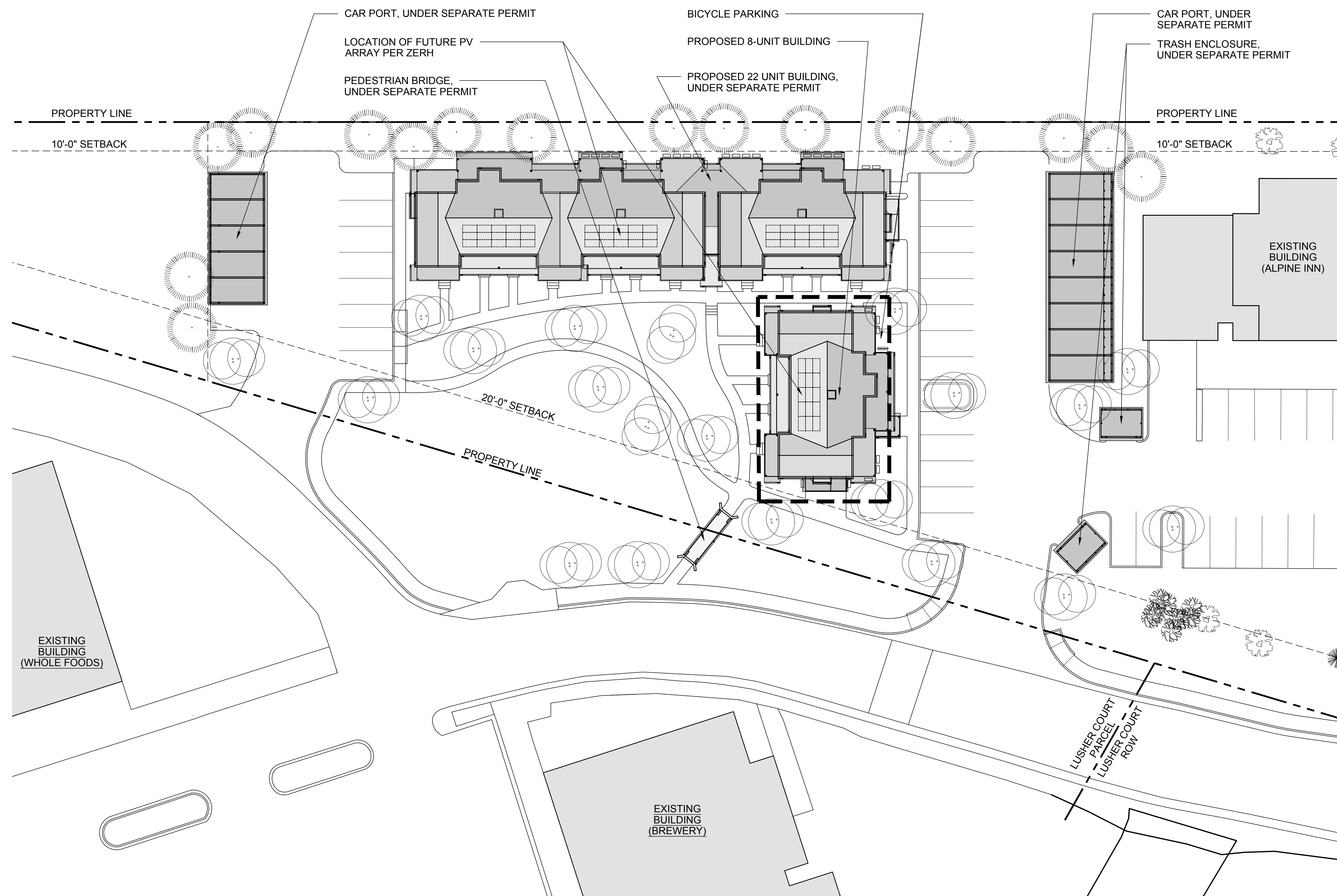
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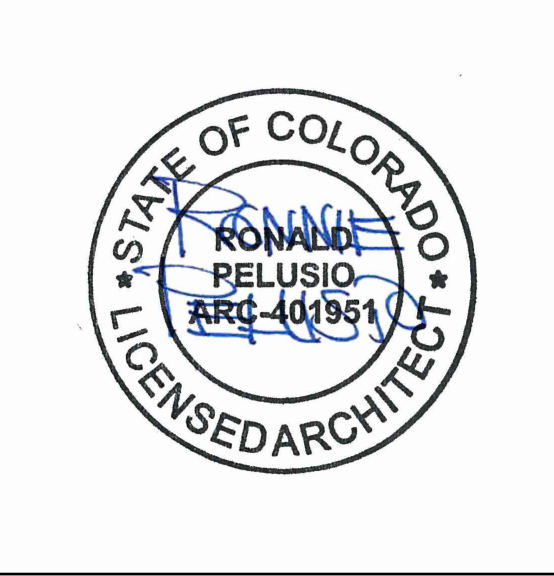
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EMAIL: Tom@wlyarch.com



NOTE: SEE CIVIL DRAWINGS FOR COMPLETE SITE INFORMATION, IE. UTILITY LOCATIONS, SITE GRADING, ETC.

**SITE PLAN**  
1" = 20'-0"



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**SITE PLAN**  
**A0.1**  
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DATE: 02-15-2023

PROJECT DATA / CALCULATIONS

Table with 4 columns: LOT SIZE, LOT COVERAGE, PARKING SPACES, NUMBER OF RESIDENTIAL UNITS, NON-RESIDENTIAL GFA, PROPOSED RESIDENTIAL GFA, SQUARE FOOTAGE OF UNITS, SQUARE FOOTAGE OF BUILDING, CRAWL SPACE, GROUND LEVEL, ALLOWABLE NUMBER OF STORIES, ALLOWABLE HEIGHT AND AREA, OCCUPANT LOAD, MAX COMMON PATH OF EGRESS, REQUIRED NUMBER OF EXITS, ACCESSIBLE DWELLING UNITS AND SLEEPING UNITS, and a summary table for ACCESSIBLE DWELLING UNITS AND SLEEPING UNITS.

FIRE-RESISTANCE / SEPARATION

Table with 2 columns: FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (TABLE 601) and FIRE-RESISTANCE RATING FOR EXTERIOR WALLS BASE ON FIRE SEPARATION (TABLE 602). Includes sections for SEPARATION DISTANCE, SEPARATION, and MINIMUM DISTANCE OF PROJECTIONS.

INSULATION / AIR SEALING

Table with 4 columns: INSULATION SCHEDULE - ZONE 7, SPECIFICATIONS FOR PROPOSED DESIGN, AIR BARRIER AND INSULATION INSTALLATION (TABLE N1102.4.1.1), and CRITERIA. Includes sections for COMPONENT, REQ., EFFICIENCY RATING/ U OR R-VALUE, and DESCRIPTION.



TRADITIONAL NEIGHBORHOOD DEVELOPERS, INC.

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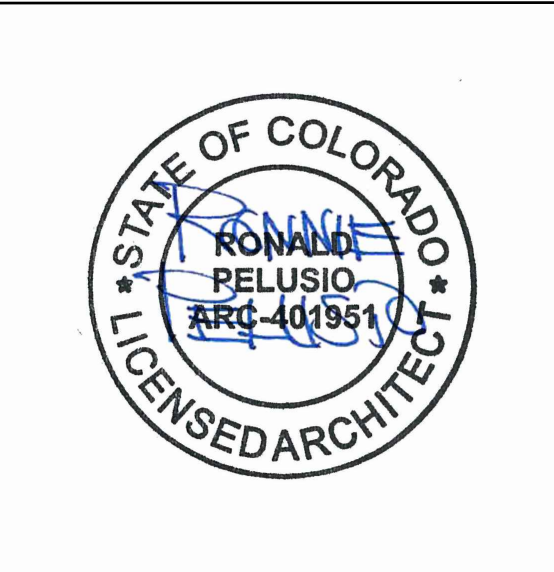
BASECAMP RESIDENCES, LLC
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BASECAMP LOFTS + STUDIOS
8 UNIT BUILDING
FRISCO, COLORADO 80443

ISSUES AND REVISIONS
DATE DESCRIPTION

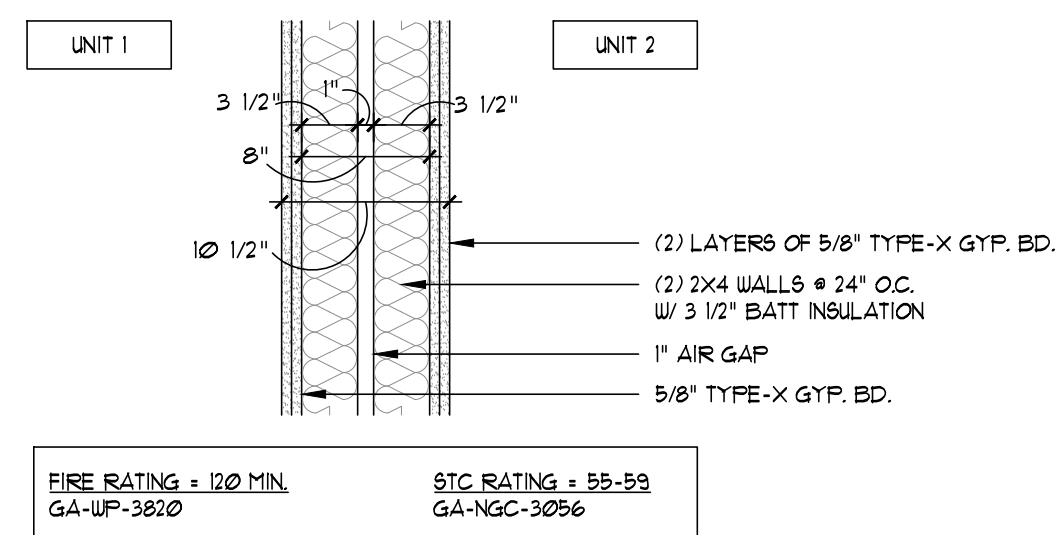
Table with 2 columns: DATE, DESCRIPTION. Includes revision lines.

CODE ANALYSIS

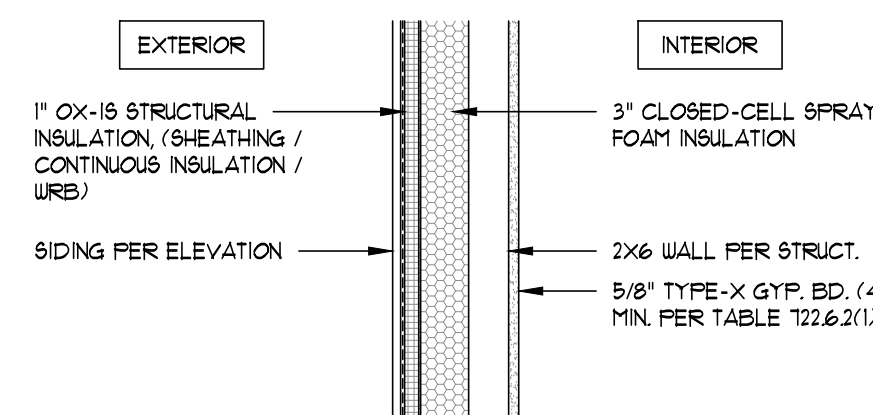
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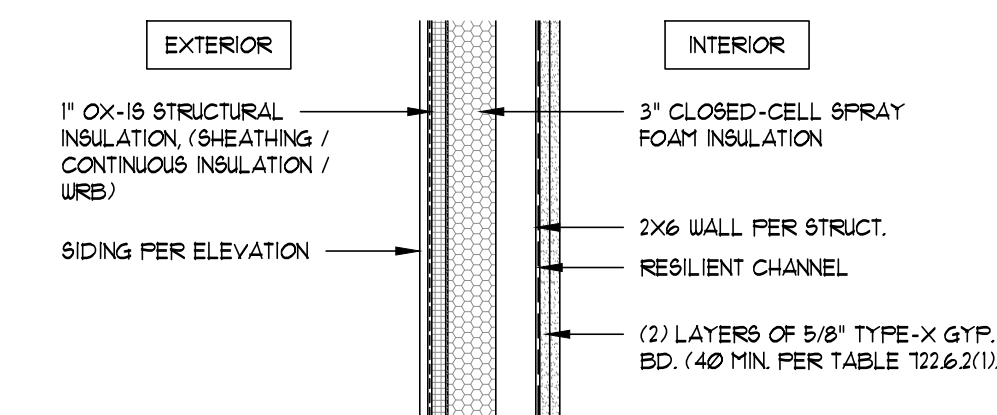
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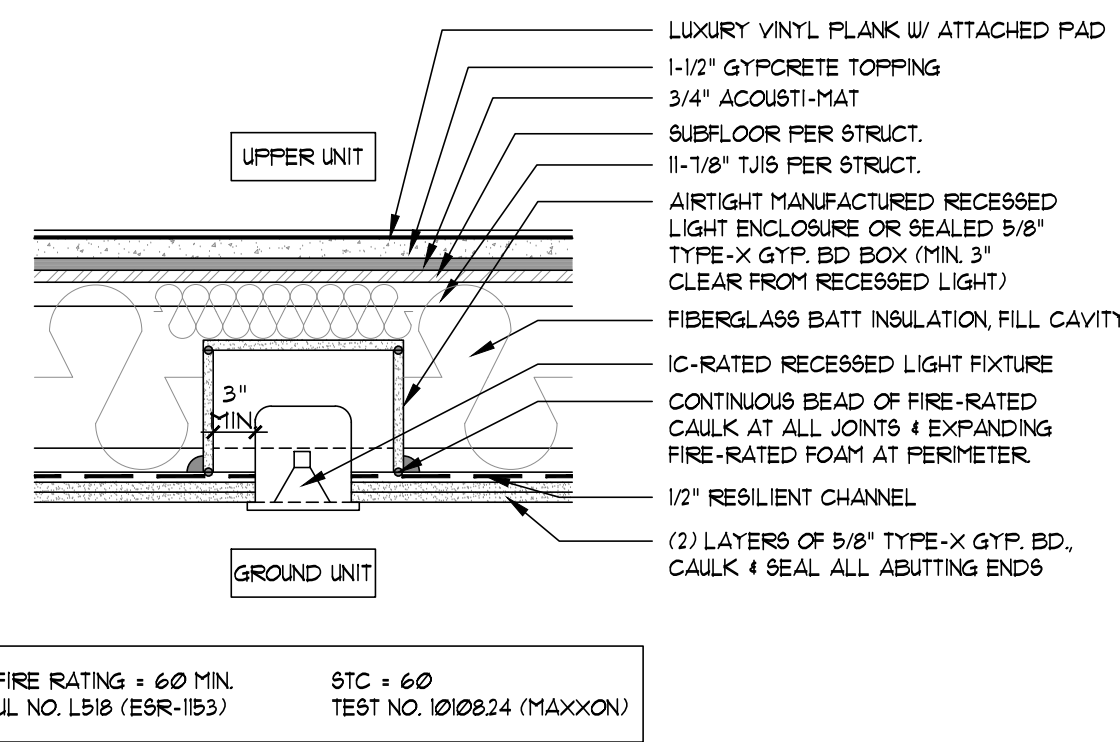
**W1 TYP. DEMISING WALL BETWEEN UNITS**  
SCALE: 1"=1'-0"



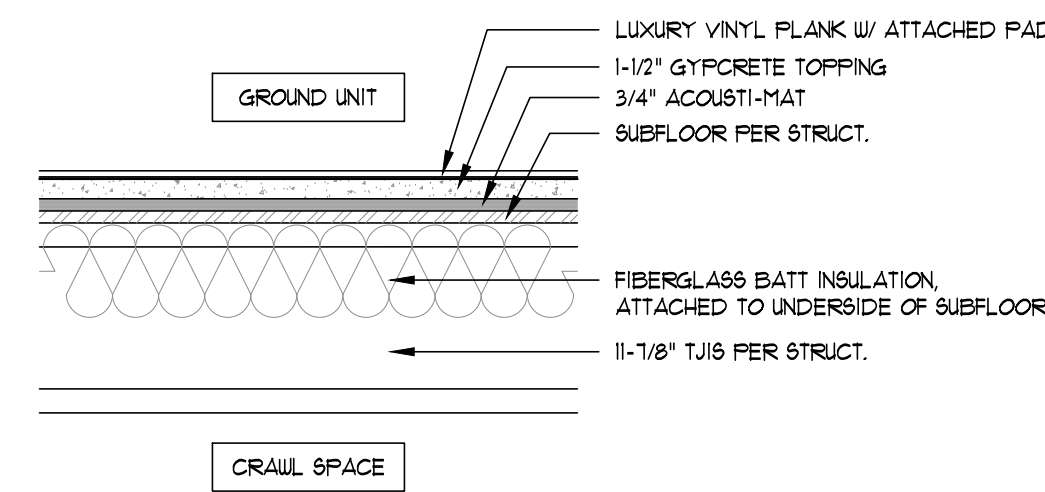
**W2 TYP. EXTERIOR WALL - A**  
SCALE: 1"=1'-0"



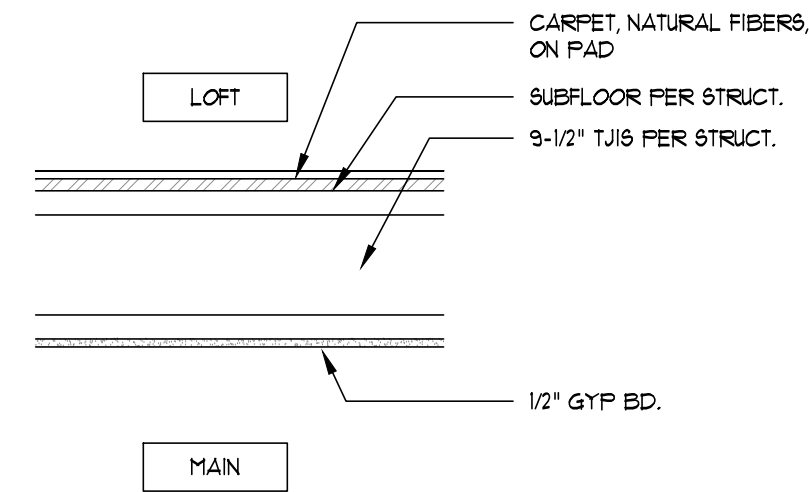
**W3 TYP. EXT. WALL - B**  
SCALE: 1"=1'-0"



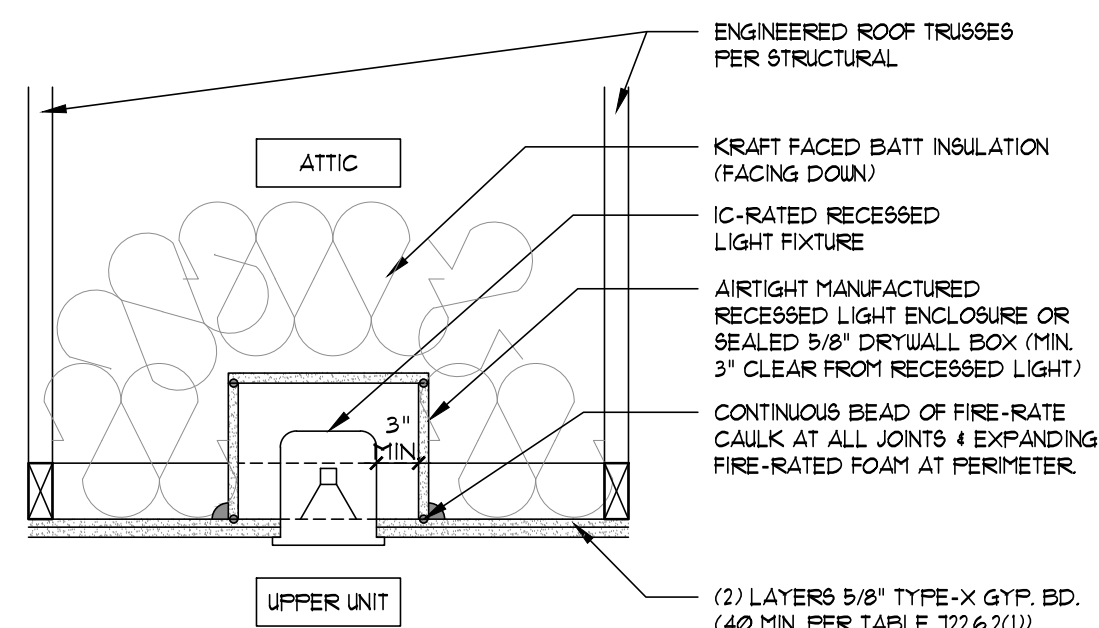
**F1 TYP. FLOOR BETWEEN UNITS**  
SCALE: 1"=1'-0"



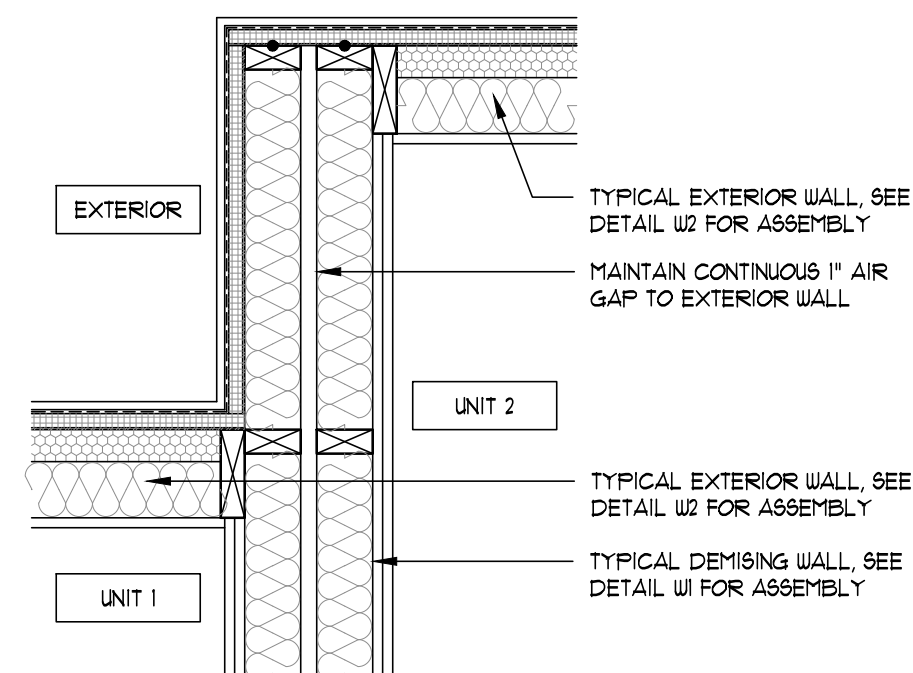
**F2 TYP. FLOOR OVER CRAWL**  
SCALE: 1"=1'-0"



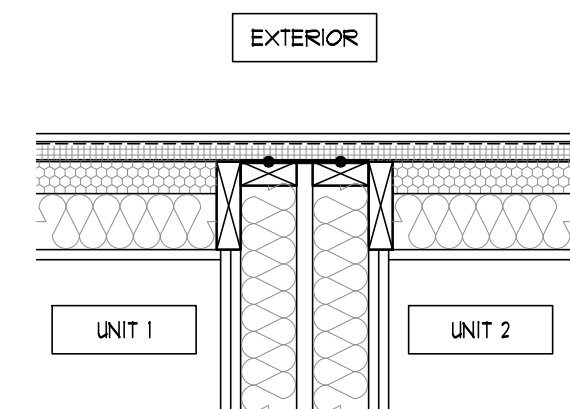
**F3 TYP. FLOOR AT LOFT**  
SCALE: 1"=1'-0"



**F4 TYP. CEILING AT UPPER UNIT**  
SCALE: 1"=1'-0"



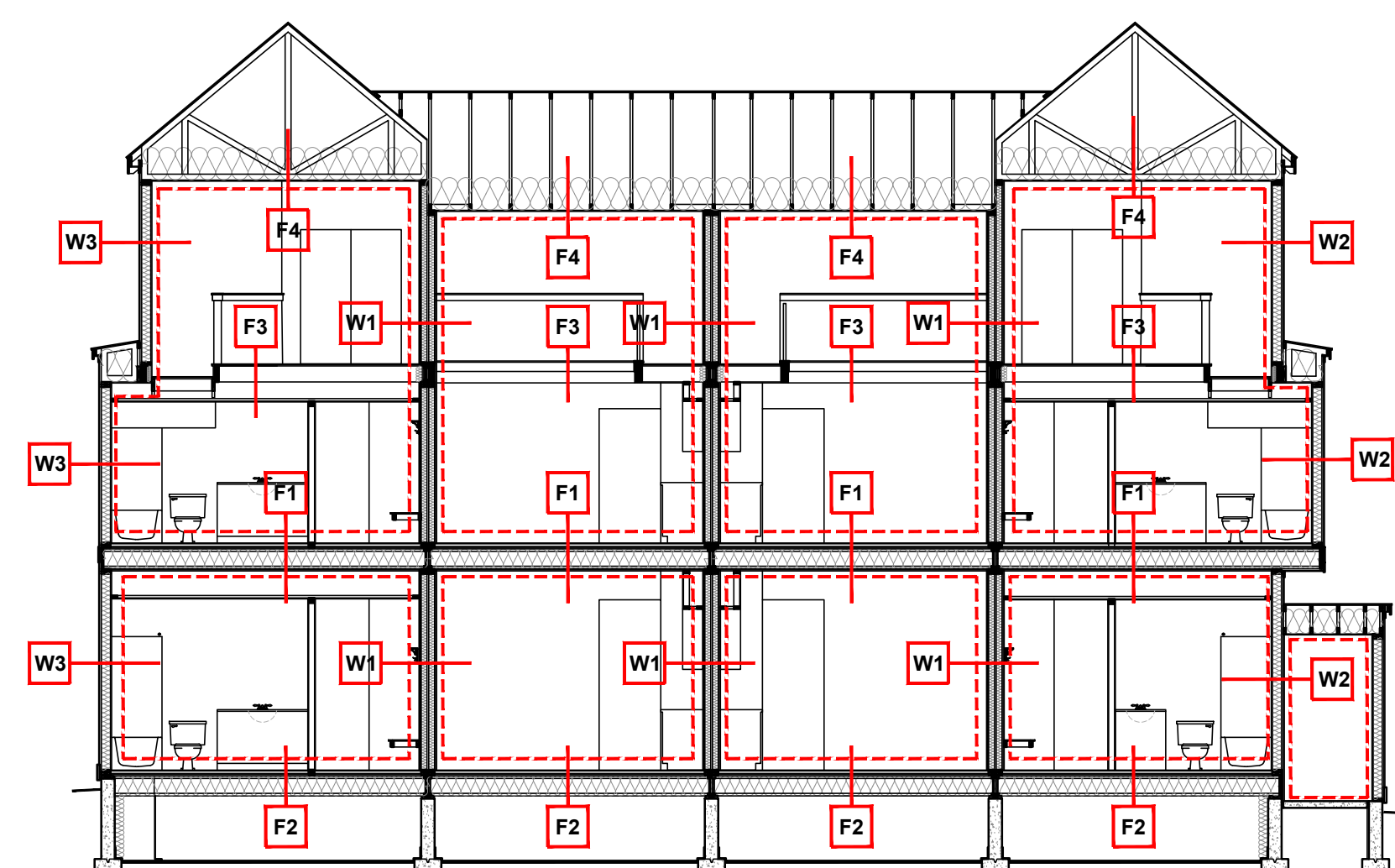
**D1 DEMISING WALL PLAN DETAIL**  
SCALE: 1"=1'-0"



**D2 DEMISING WALL PLAN DETAIL**  
SCALE: 1"=1'-0"

**WALL, FLOOR, & CEILING ASSEMBLIES**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



--- LINE OF SEPARATION  
-- ASSEMBLY CALLOUT  
\*MIN. 1/2 HOUR REQUIRED UNLESS OTHERWISE NOTED, SEE A0.2 FOR CODE ANALYSIS

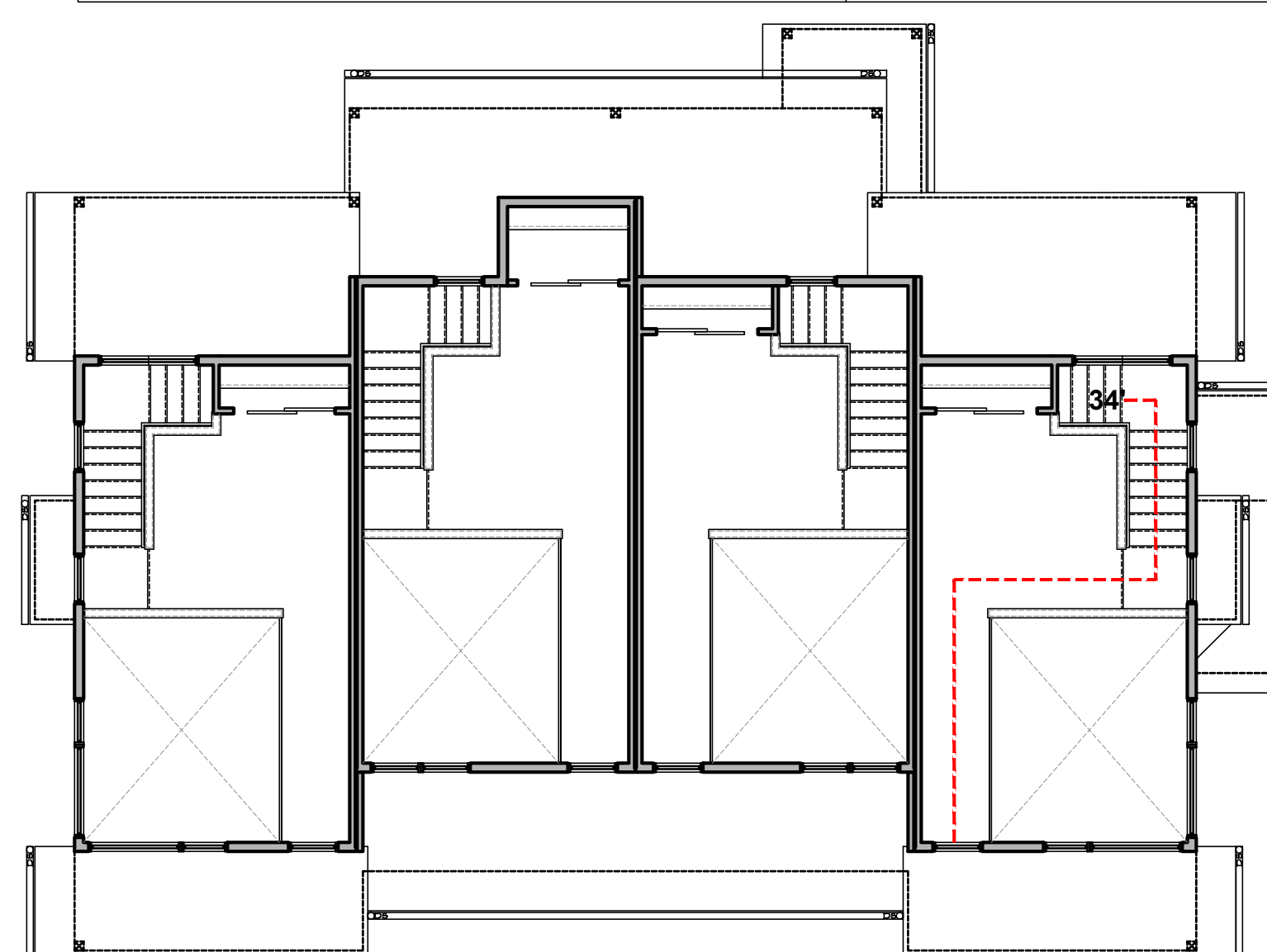
5/8" TYPE-X GYP. BD. IN MECH. RM., SEE 5-A4.0

**FIRE & SOUNDS SEPARATION DIAGRAMS**

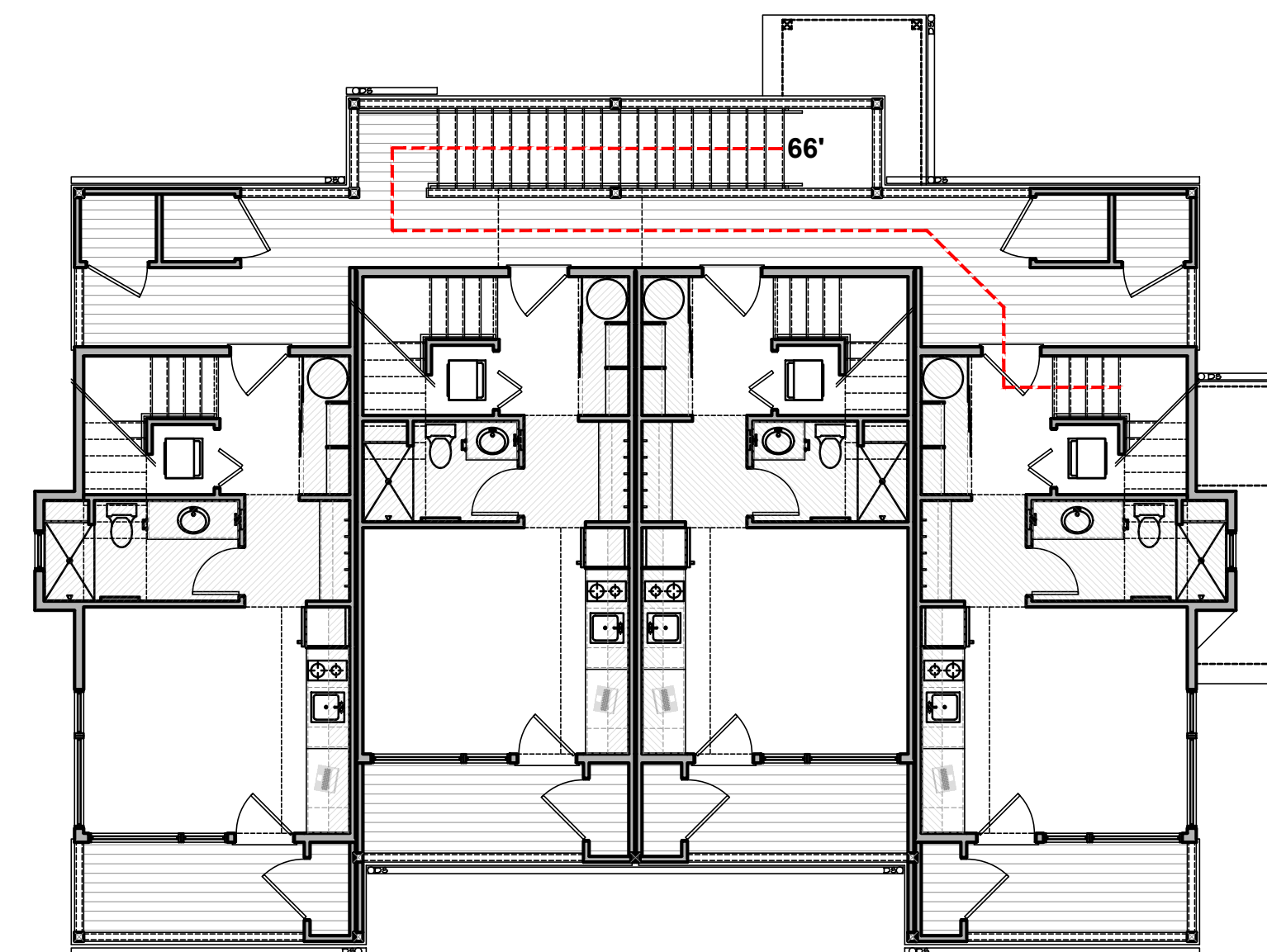
SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)

MAX EXIT ACCESS TRAVEL DISTANCE (EATD) = 250'  
MAX COMMON PATH OF EGRESS TRAVEL (CPET) DISTANCE (ONE EXIT) - 125'  
GROUND LVL UNIT - 25' / 47'  
UPPER LVL UNIT - 34' + 66' + 10' = 110'

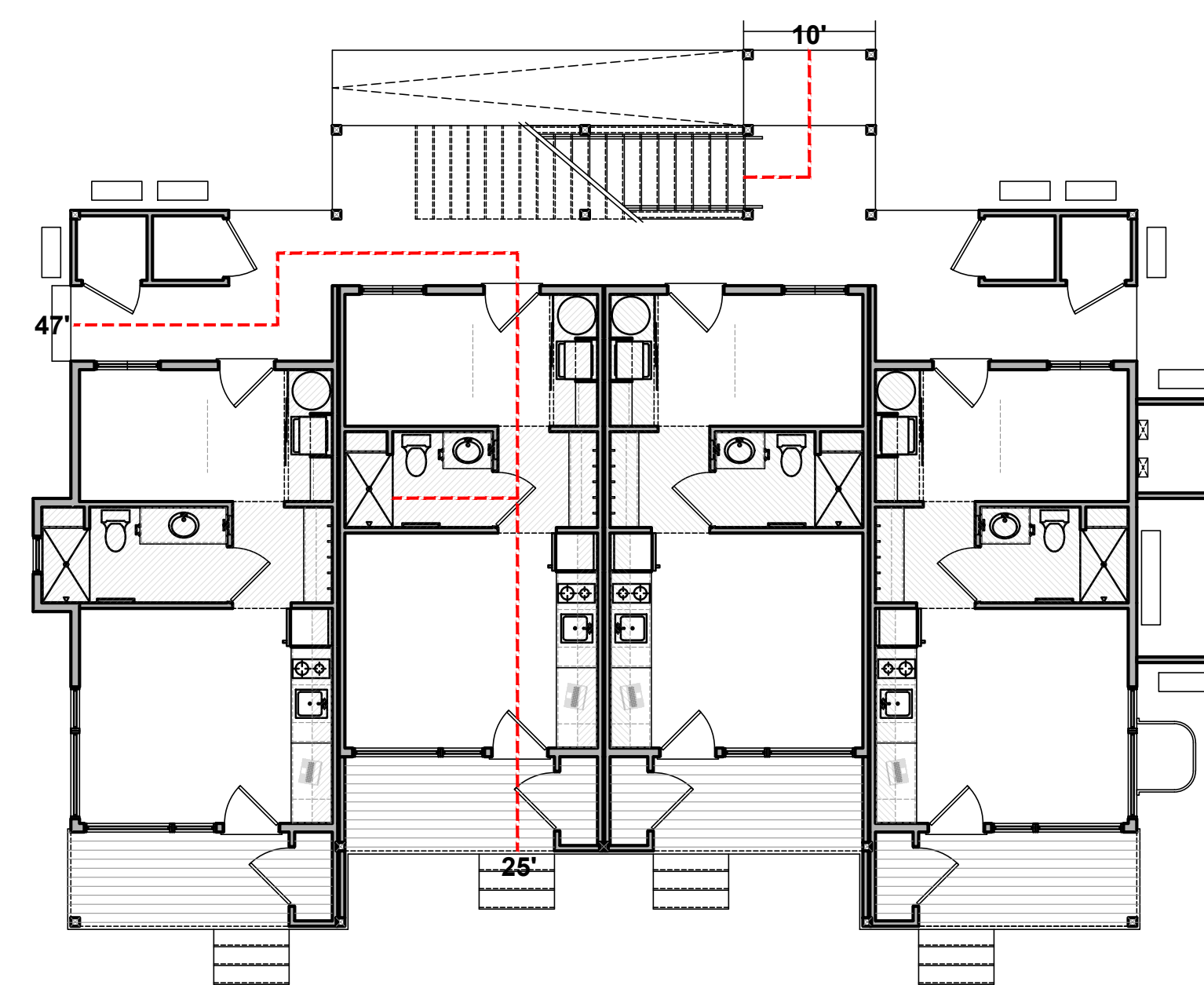
--- LINE OF TRAVEL  
\*EXIT ACCESS & COMMON PATH ARE THE SAME DUE TO SINGLE EXIT



LOFT LEVEL PLAN



UPPER LEVEL PLAN



GROUND LEVEL PLAN

**EXIT DISTANCE DIAGRAMS**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



TRADITIONAL NEIGHBORHOOD DEVELOPERS, INC.

OWNER

ALPINE INN, LLC  
PO BOX 4473  
FRISCO, CO 80443  
CONTACT: LESTER WARPECHA

DEVELOPER

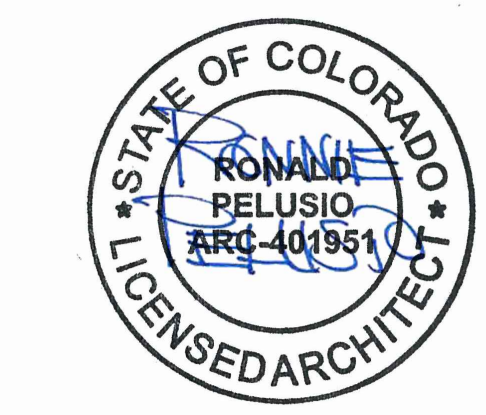
BASECAMP RESIDENCES, LLC  
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EMAIL: Tom@wlyarch.com

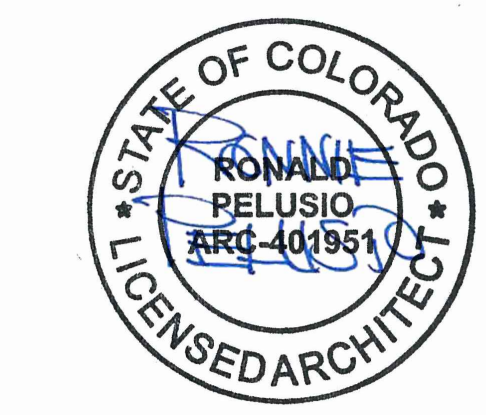


BASECAMP  
LOFTS + STUDIOS  
8 UNIT BUILDING  
FRISCO, COLORADO 80443

ISSUES AND REVISIONS  
DATE DESCRIPTION

DATE	DESCRIPTION

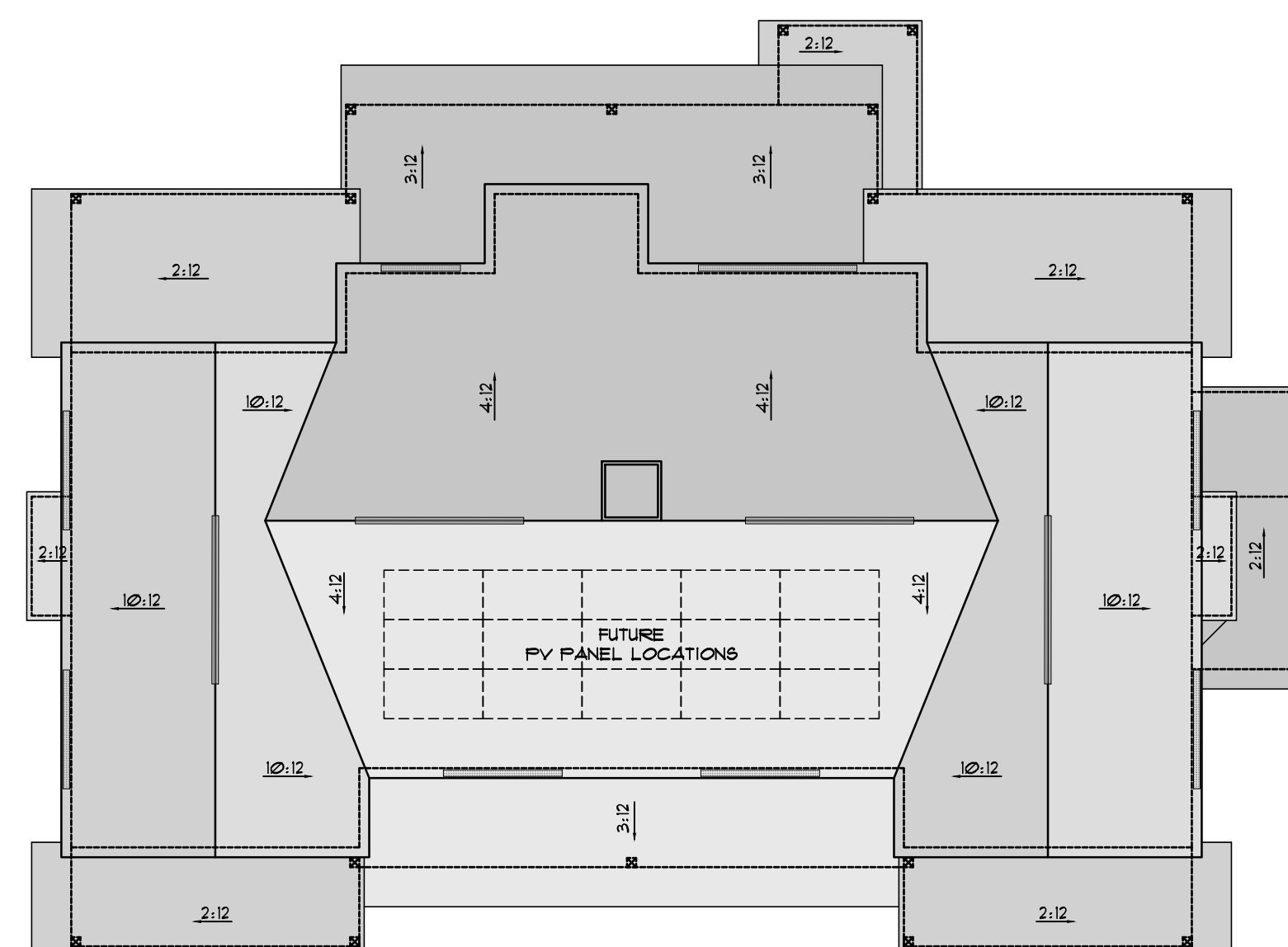
LIFE SAFETY DIAGRAMS  
**A0.3**  
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DATE: 02-15-2023



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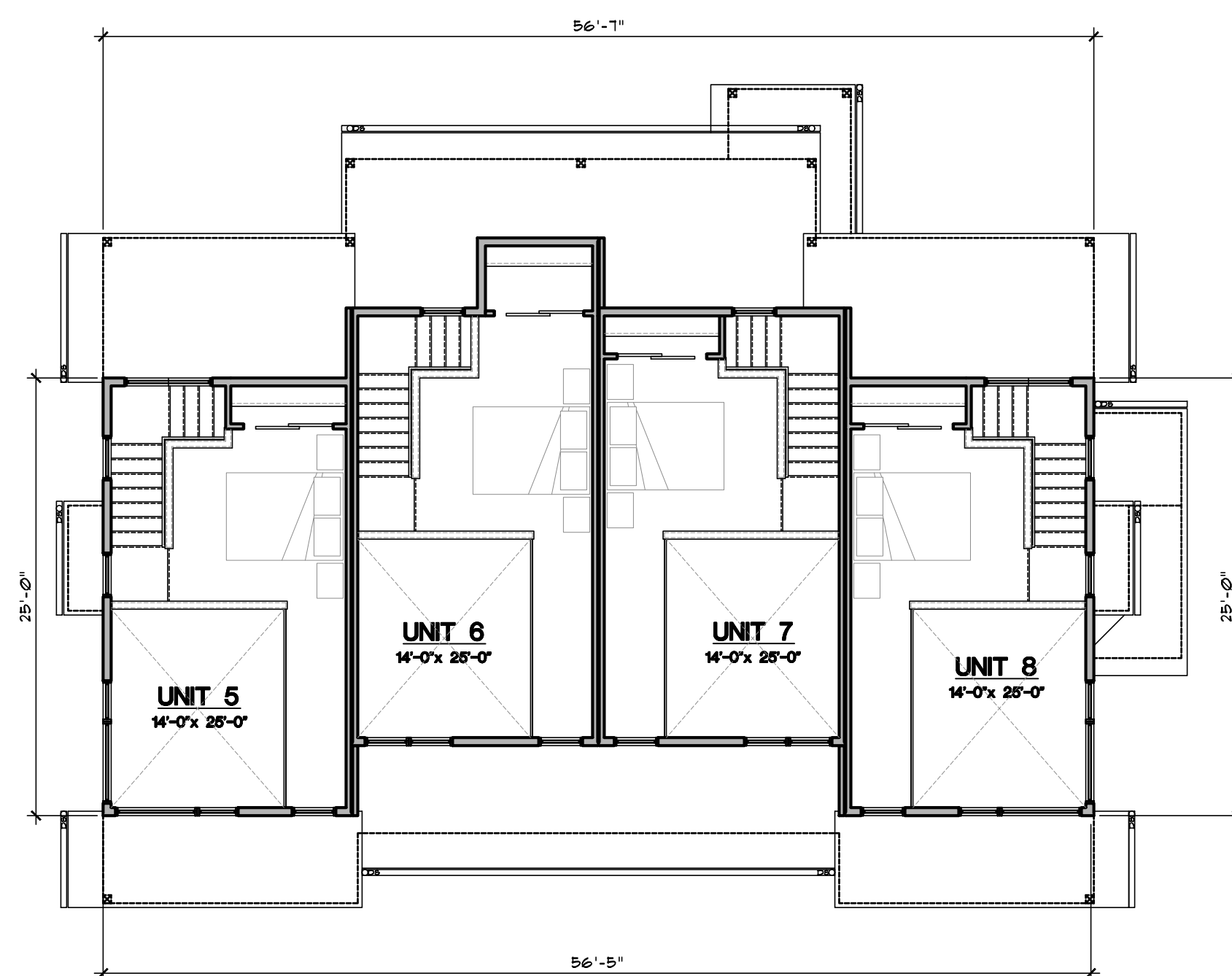
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**BUILDING COMPOSITION PLANS**  
**A1.0**  
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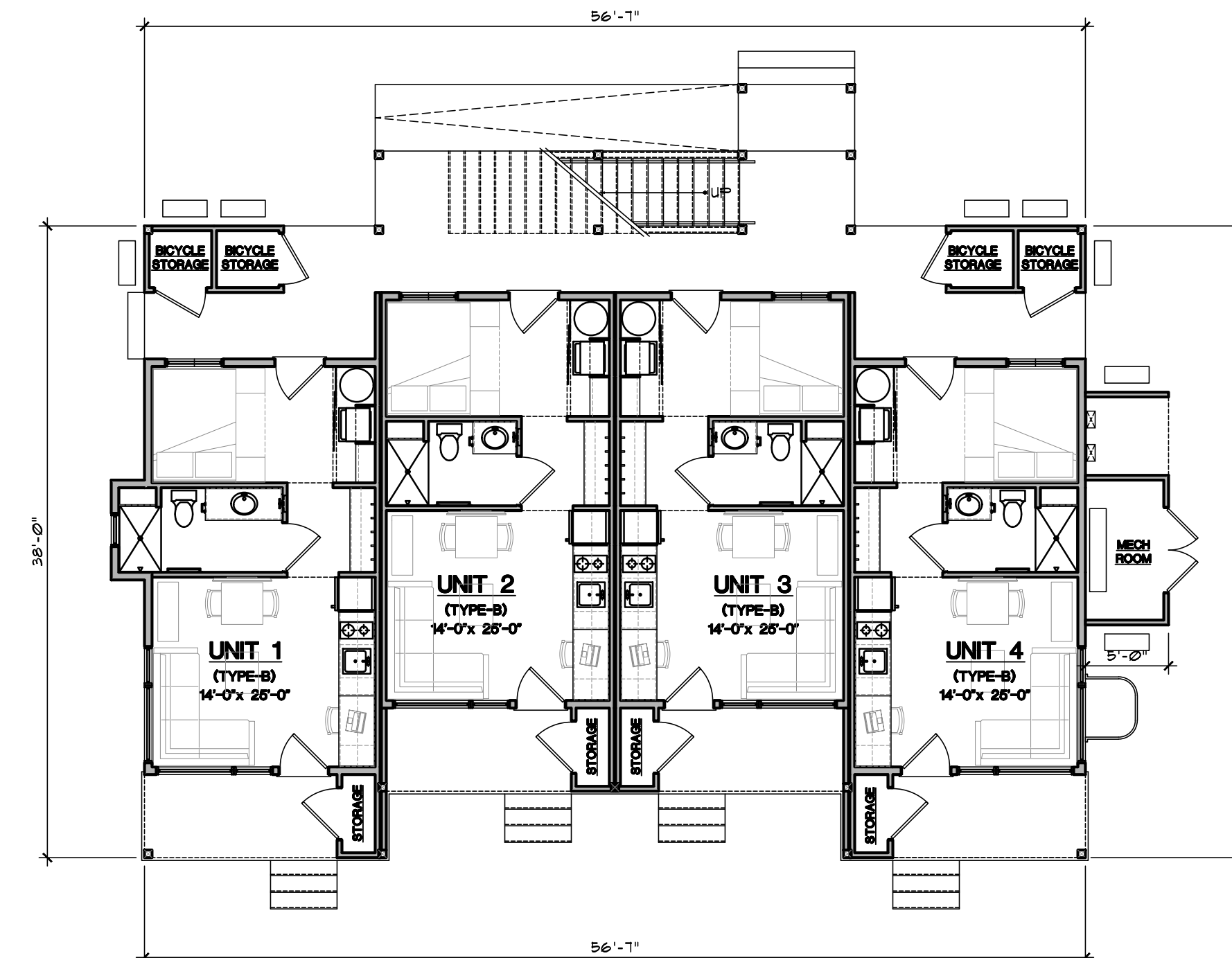
**8 UNIT - ROOF PLAN**

SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)



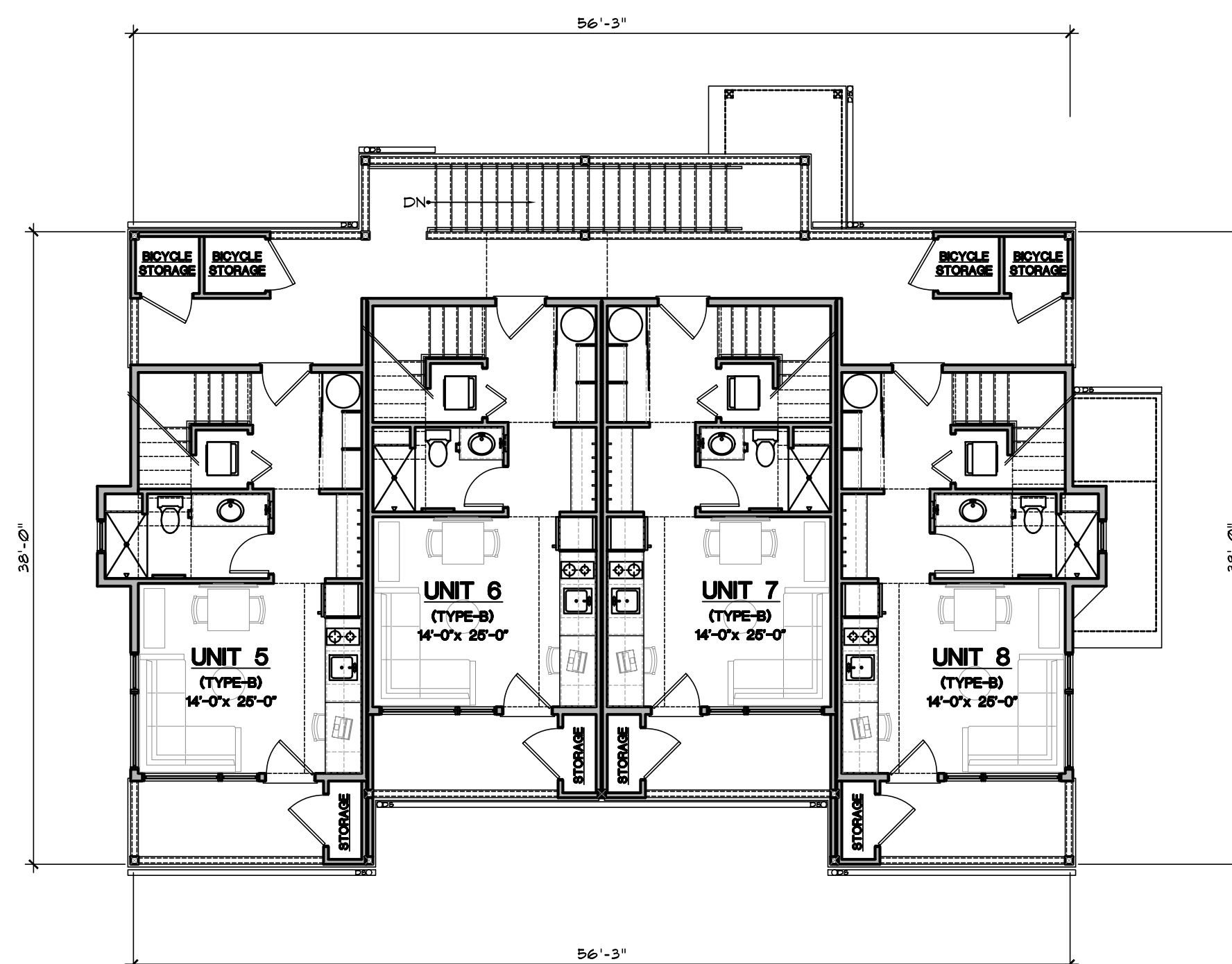
**8 UNIT - UPPER LEVEL LOFT PLAN**

SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)



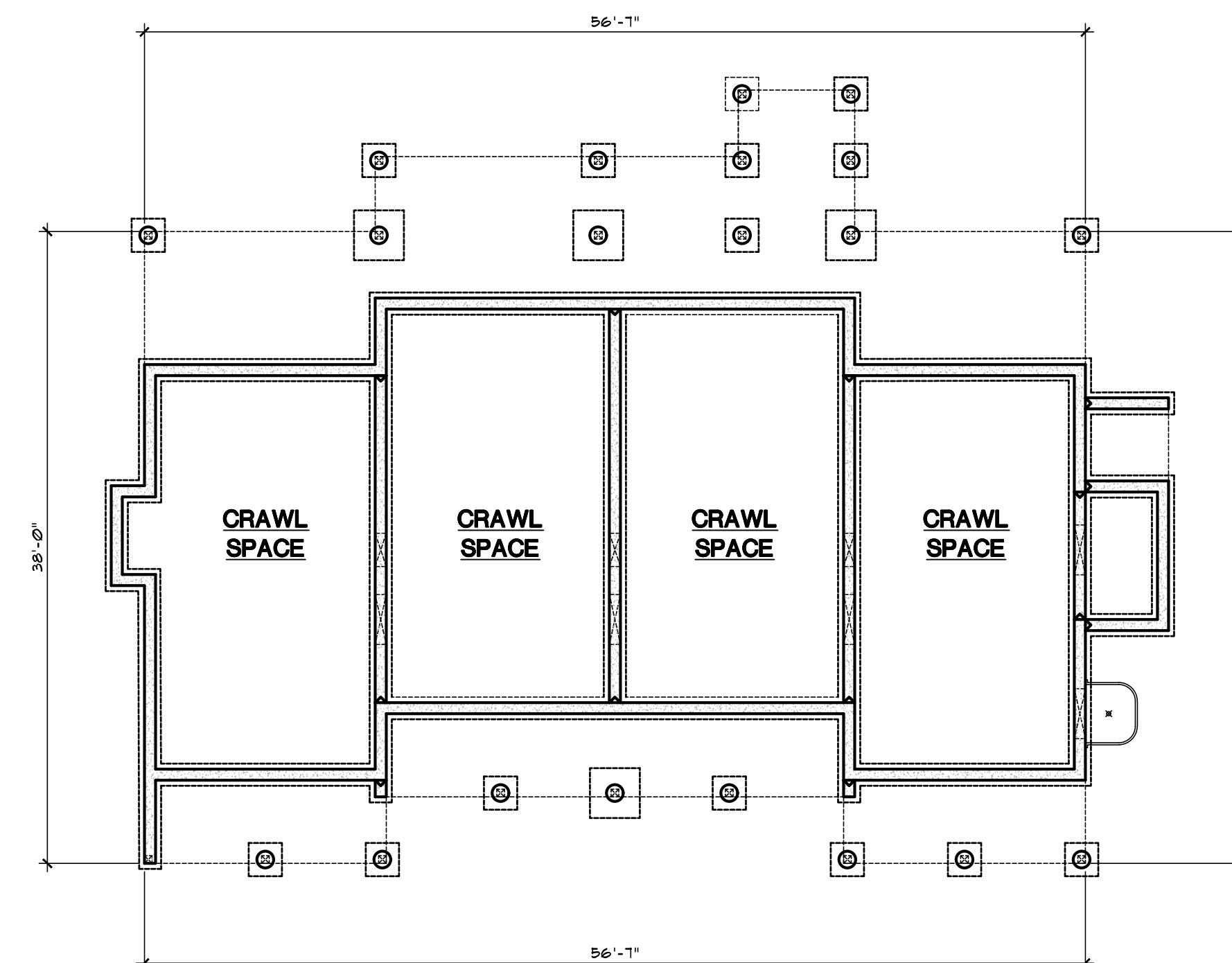
**8 UNIT - GROUND LEVEL PLAN**

SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)



**8 UNIT - UPPER LEVEL PLAN**

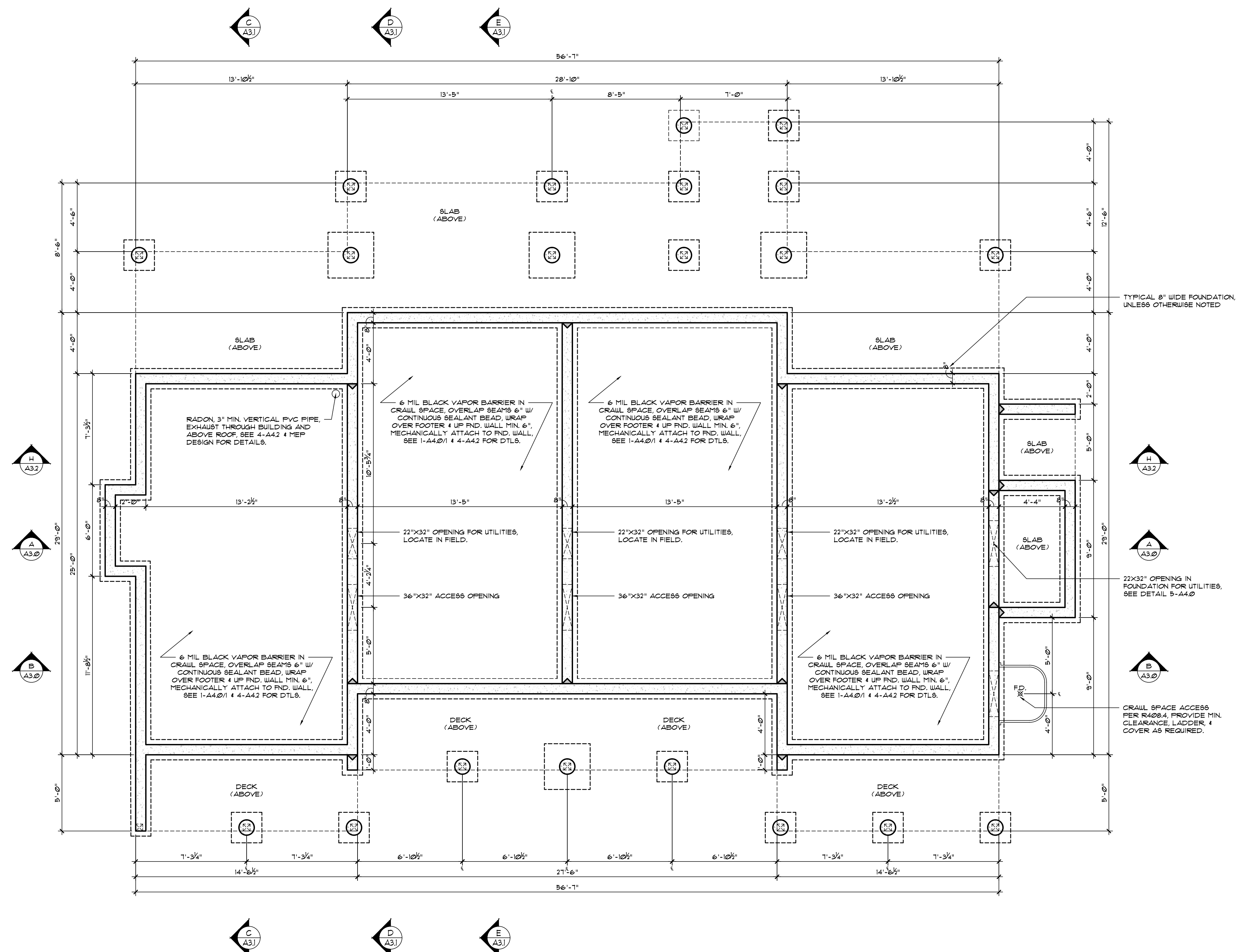
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**8 UNIT - CRAWL SPACE PLAN**

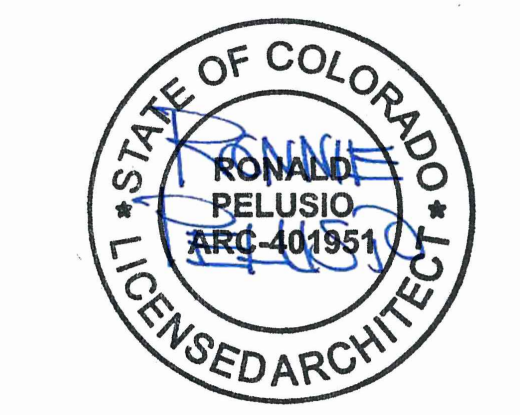
SCALE: 1/8" = 1'-0" (1/16" = 1'-0" @ 11x17)





**8 UNIT - CRAWL SPACE PLAN**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



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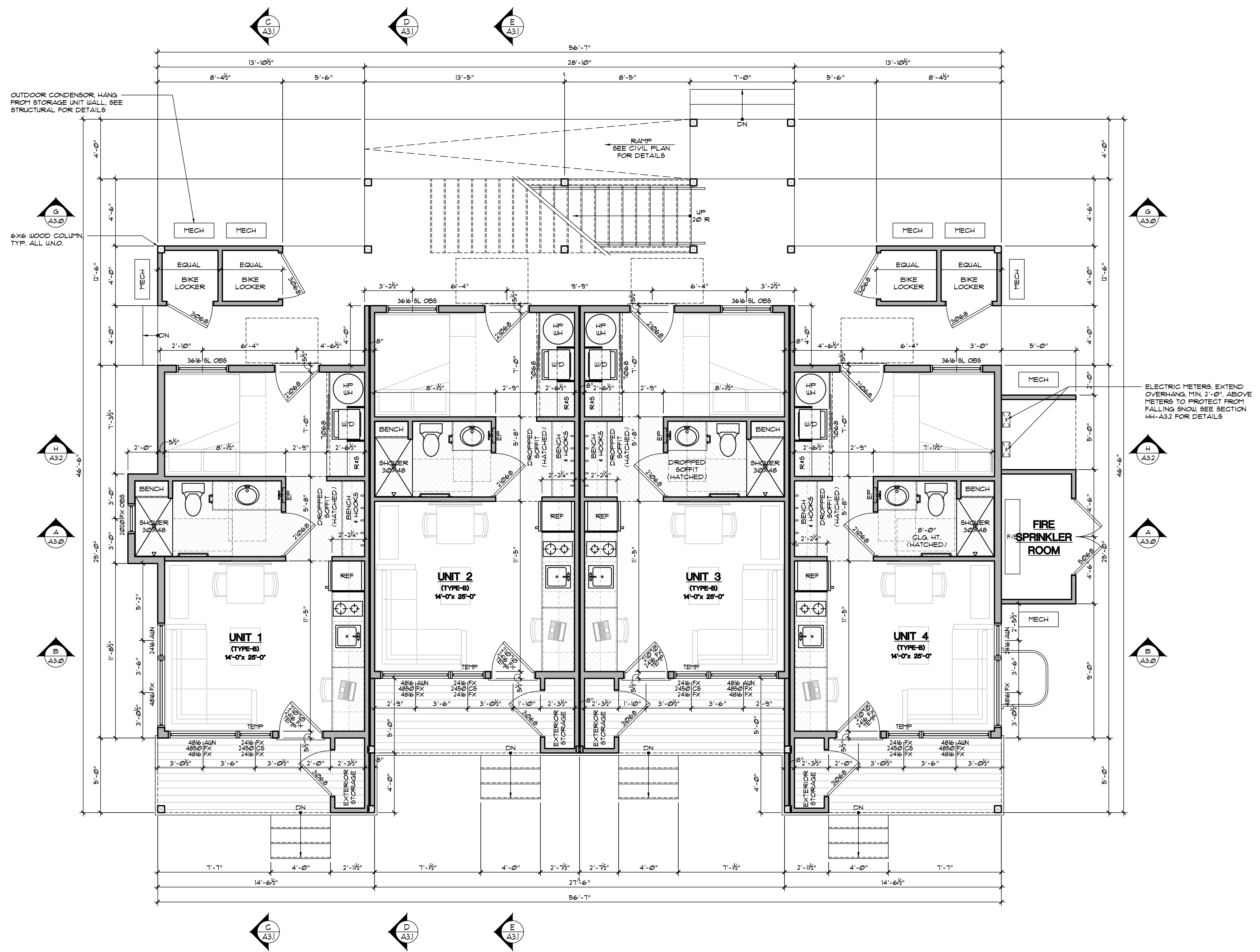
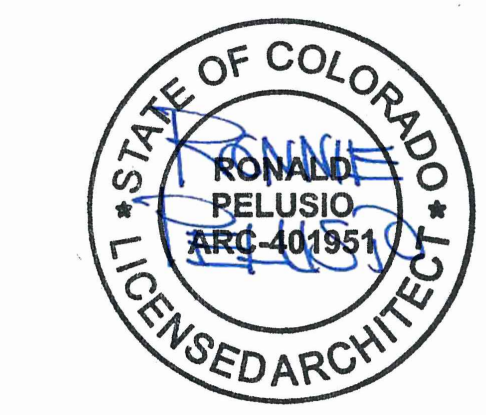
DATE	DESCRIPTION

**CRAWL SPACE PLAN**

**A1.1**

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DATE: 02-15-2023



**8 UNIT - GROUND LEVEL PLAN**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)

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FRISCO, COLORADO 80443

ISSUES AND REVISIONS

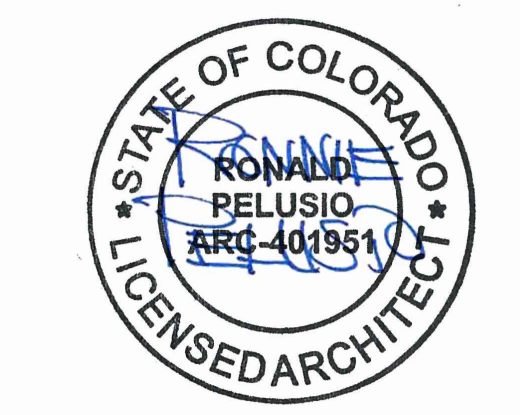
DATE	DESCRIPTION

**GROUND LEVEL  
PLAN**

**A1.2**

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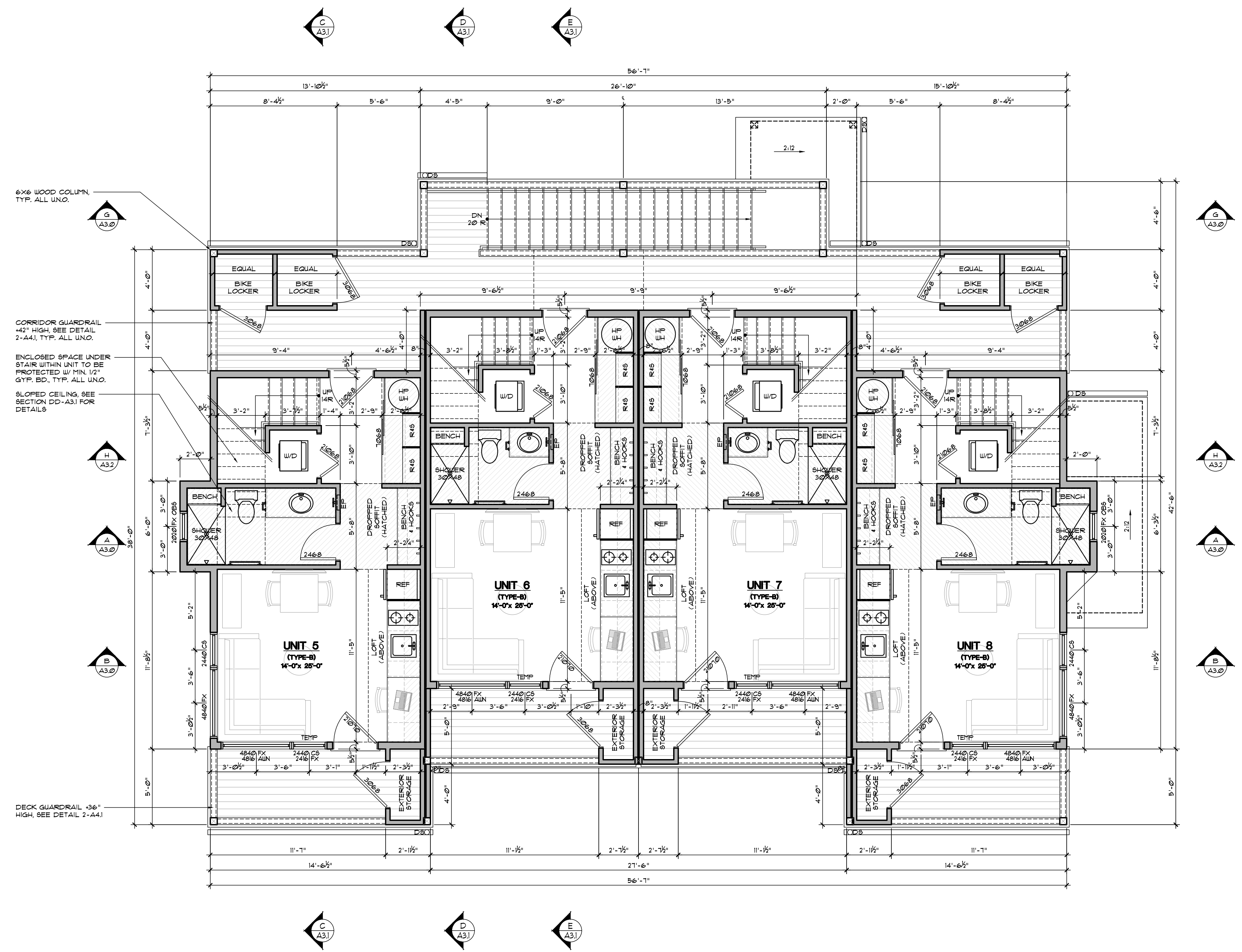


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ISSUES AND REVISIONS

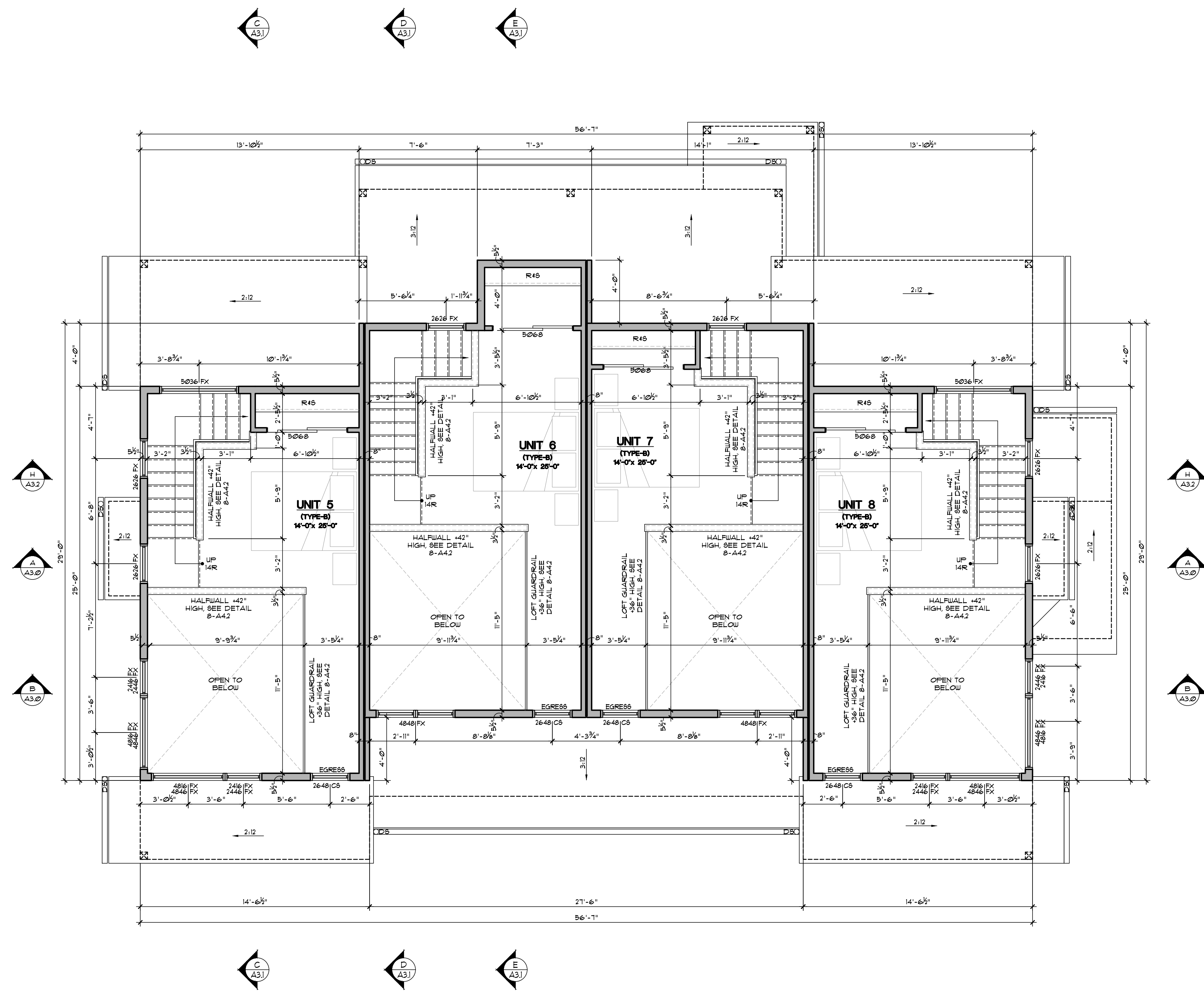
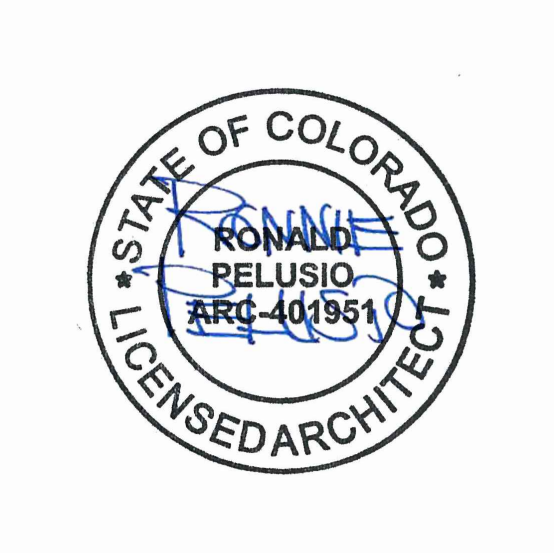
DATE	DESCRIPTION

**UPPER LEVEL  
PLAN**  
**A1.3**  
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DEVELOPERS, INC.  
DATE: 02-15-2023



**8 UNIT - UPPER LEVEL PLAN**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



**8 UNIT - UPPER LEVEL LOFT PLAN**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)

**BASECAMP  
LOFTS + STUDIOS**  
**8 UNIT BUILDING**  
FRISCO, COLORADO 80443

ISSUES AND REVISIONS

DATE	DESCRIPTION

**UPPER LEVEL  
LOFT PLAN**  
**A1.4**  
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DEVELOPERS, INC.  
DATE: 02-15-2023

UPPER ROOF	1449 SQ. FT.	X 144	= 208,656 SQ. IN.
VENTILATION RATIO:	$\frac{696}{208,656}$		
TOTAL VENTILATION REQUIRED:	696 SQ. IN.		
ADDITIONAL 20% VENTILATION DUE TO <7/12 ROOF SLOPES:	149 SQ. IN.		
<b>VENTILATION</b>			
LOW VENTS: 48'-0" L.F. X 9.0 =	432 SQ. IN.		
HIGH VENTS: 34'-0" L.F. X 12.5 =	425 SQ. IN.		
TOTAL VENTILATION PROVIDED:	857 SQ. IN.		
TOTAL VENTILATION REQUIRED:	845 SQ. IN.		
IS VENTILATION PROVIDED > REQUIRED?	YES		

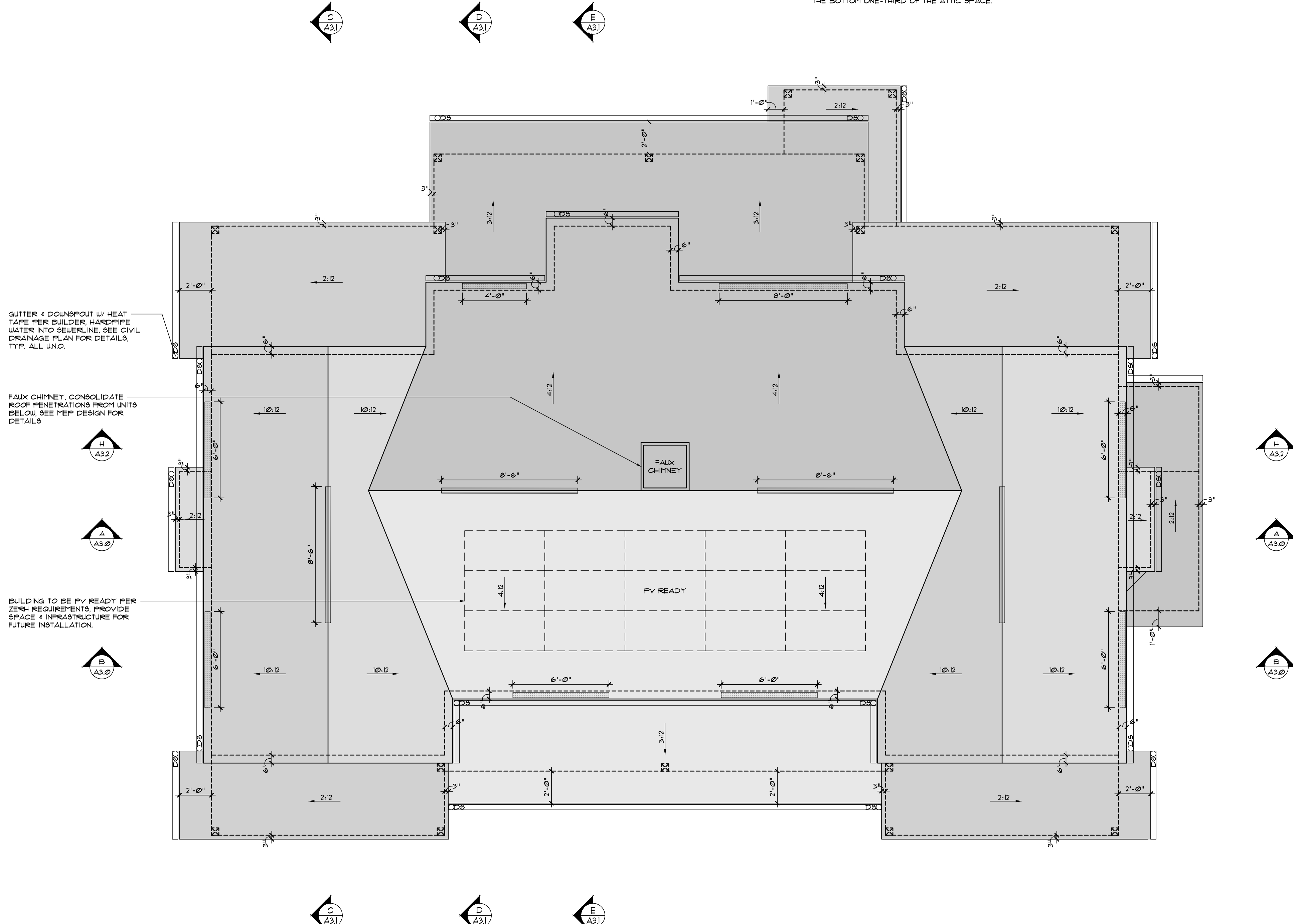
**LEGEND**

- DCI PRODUCTS SMARTVENT OR SIMILAR, 9 SQ. IN. PER LINEAR FOOT
- PERFORATED SOFFIT BOARD PER BUILDER, 9 SQ. IN. PER LINEAR FOOT
- RIDGE VENT PER BUILDER, 12.5 SQ. IN. PER LINEAR FOOT

**R202.2 MINIMUM VENT AREA**

THE MINIMUM NET FREE VENTILATING AREAS SHALL BE  $\frac{1}{150}$  OF THE AREA OF THE VENTED SPACE  
EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE  $\frac{1}{100}$  OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:

1. IN CLIMATE ZONES 6, 7, AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-TO-WINTER SIDE OF THE CEILING.
2. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE.



**ROOF PLAN**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



TRADITIONAL NEIGHBORHOOD DEVELOPERS, INC.

**OWNER**

ALPINE INN, LLC  
PO BOX 4473  
FRISCO, CO 80443  
CONTACT: LESTER WARPECHA

**DEVELOPER**

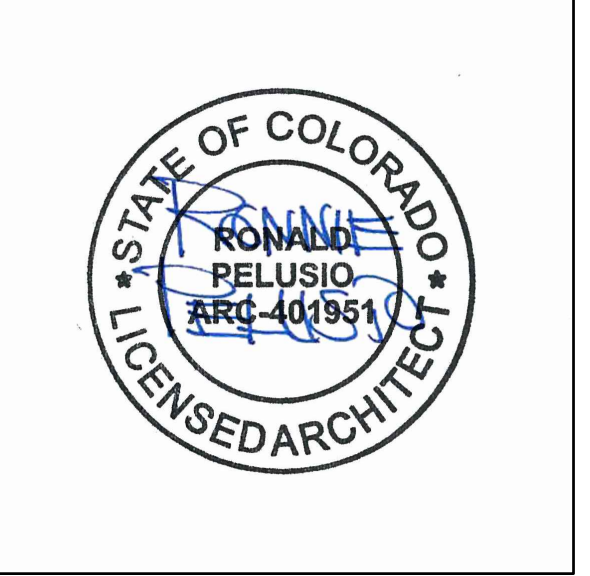
BASECAMP RESIDENCES, LLC  
777 PEARL STREET, SUITE 200  
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PHONE: 225-276-1992  
CONTACT: MICHAEL MARCHAND  
EMAIL: MMarchand@BrynnGrey.com

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EMAIL: Ronnie@Pel-Ona.com

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PHONE: 303-447-2786  
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EMAIL: Tom@wlyarch.com



BASECAMP  
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**ROOF PLAN**

**A1.5**

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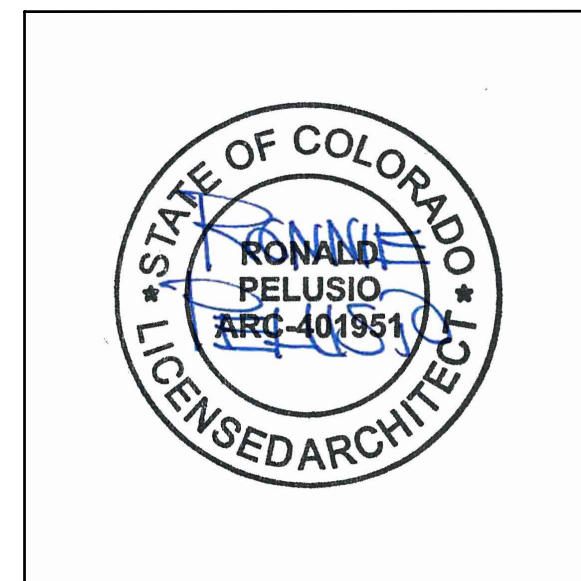
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**EXTERIOR  
ELEVATIONS**

**A2.0**

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**WEST ELEVATION (COURTYARD)**  
SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



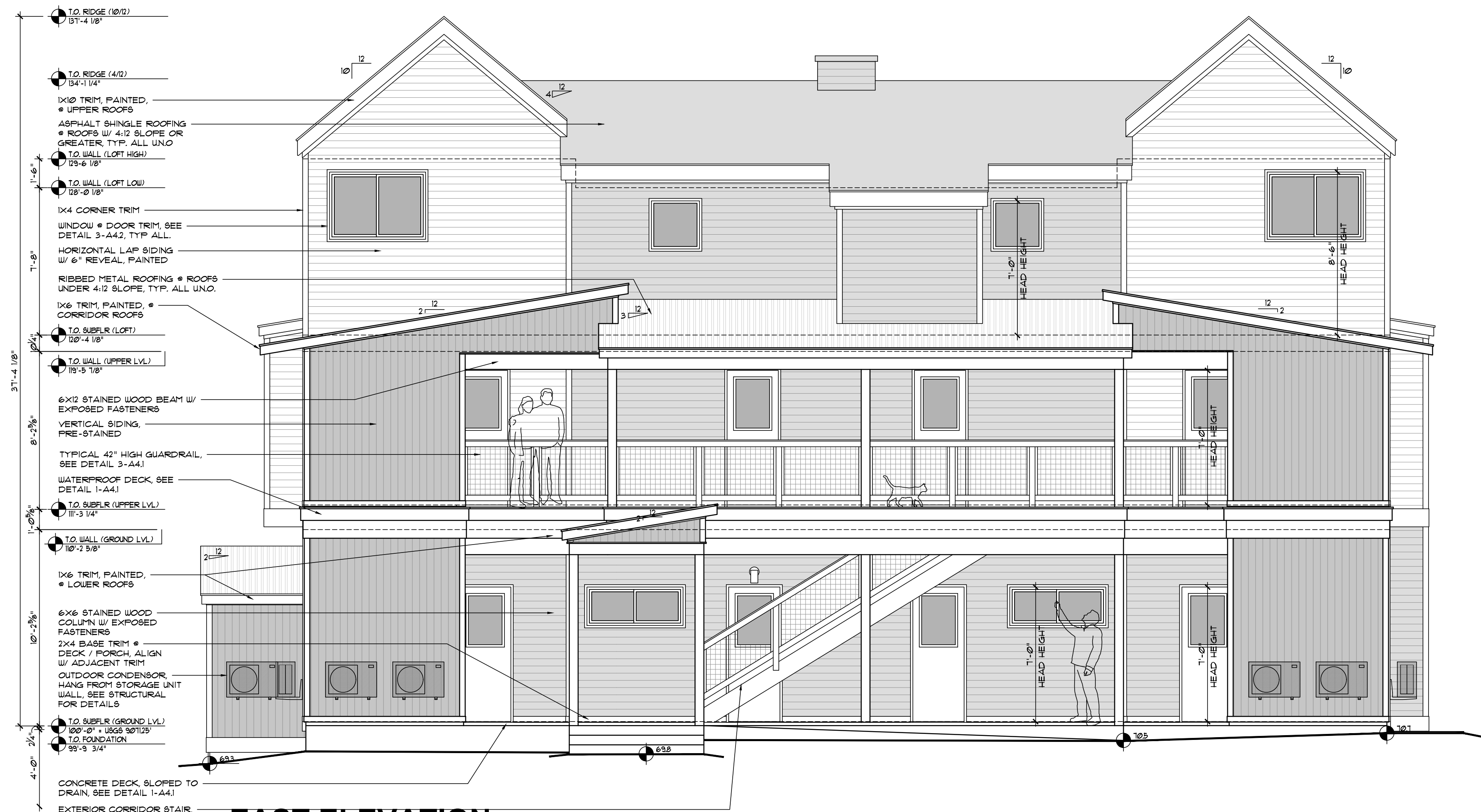
**NORTH ELEVATION**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



**EAST ELEVATION**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)

- T.O. RIDGE (10/12)  
171'-4 1/8"
- T.O. RIDGE (4/12)  
134'-1 1/4"
- 1x10 TRIM, PAINTED,  
• UPPER ROOFS
- ASPHALT SHINGLE ROOFING  
• ROOFS W/ 4:12 SLOPE OR  
GREATER, TYP. ALL UNO
- T.O. WALL (LOFT HIGH)  
123'-6 1/8"
- T.O. WALL (LOFT LOW)  
128'-0 1/8"
- 1x4 CORNER TRIM
- WINDOW • DOOR TRIM, SEE  
DETAIL 3-A42, TYP. ALL
- HORIZONTAL LAP SIDING  
W/ 6" REVEAL, PAINTED
- RIBBED METAL ROOFING • ROOFS  
UNDER 4:12 SLOPE, TYP. ALL UNO.
- 1x6 TRIM, PAINTED, •  
CORRIDOR ROOFS
- T.O. SUBFLR (LOFT)  
120'-4 1/8"
- T.O. WALL (UPPER LVL.)  
119'-5 1/8"
- 6x12 STAINED WOOD BEAM W/  
EXPOSED FASTENERS
- VERTICAL SIDING,  
PRE-STAINED
- TYPICAL 42" HIGH GUARDRAIL,  
SEE DETAIL 3-A41
- WATERPROOF DECK, SEE  
DETAIL 1-A41
- T.O. SUBFLR (UPPER LVL.)  
117'-3 1/4"
- T.O. WALL (GROUND LVL.)  
110'-2 5/8"
- 1x6 TRIM, PAINTED,  
• LOWER ROOFS
- 6x6 STAINED WOOD  
COLUMN W/ EXPOSED  
FASTENERS
- 2x4 BASE TRIM •  
DECK 1" FURCH, ALIGN  
W/ ADJACENT TRIM
- OUTDOOR CONDENSOR,  
HANG FROM STORAGE UNIT  
WALL, SEE STRUCTURAL  
FOR DETAILS
- T.O. SUBFLR (GROUND LVL.)  
100'-0" + USGS 307125  
T.O. FOUNDATION  
99'-3 3/4"
- CONCRETE DECK, SLOPED TO  
DRAIN, SEE DETAIL 1-A41
- EXTERIOR CORRIDOR STAIR,  
SEE DETAIL 4-A41



TRADITIONAL NEIGHBORHOOD  
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**DEVELOPER**

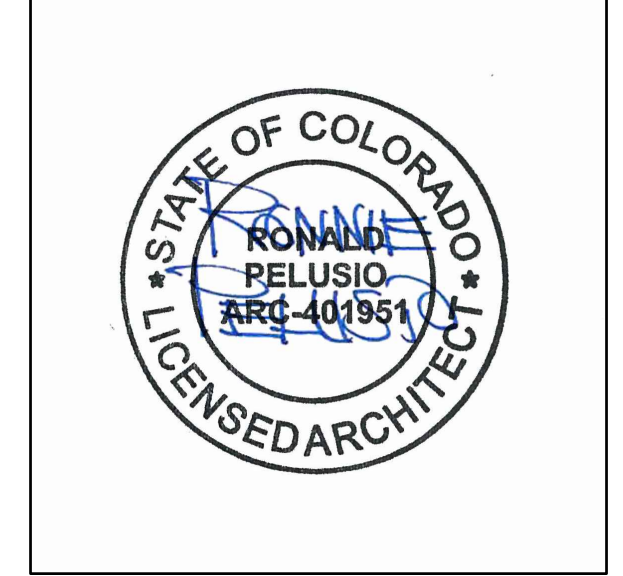
BASECAMP RESIDENCES, LLC  
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LOFTS + STUDIOS**  
**8 UNIT BUILDING**  
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**ISSUES AND REVISIONS**

DATE	DESCRIPTION

**EXTERIOR  
ELEVATIONS**  
**A2.1**  
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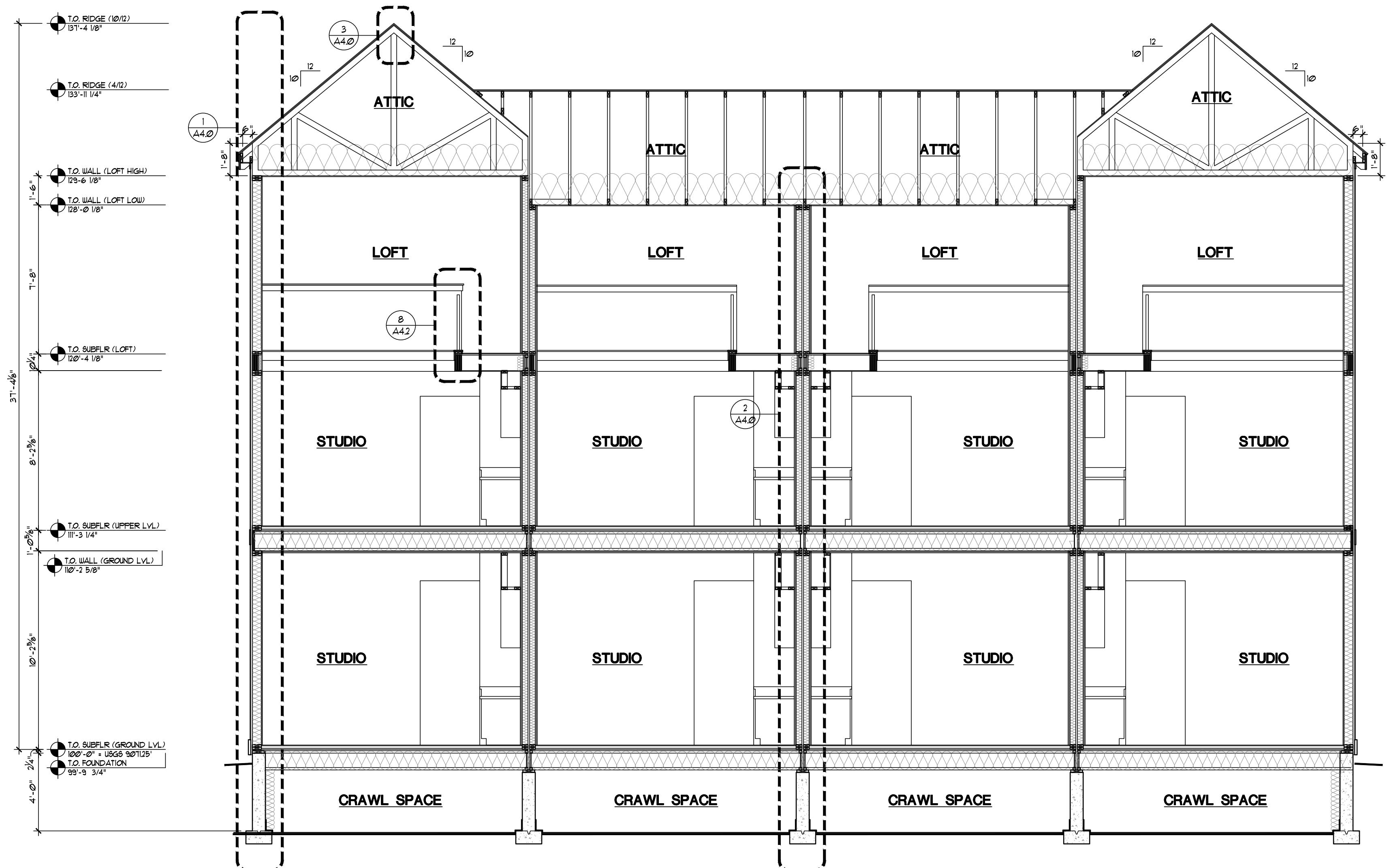
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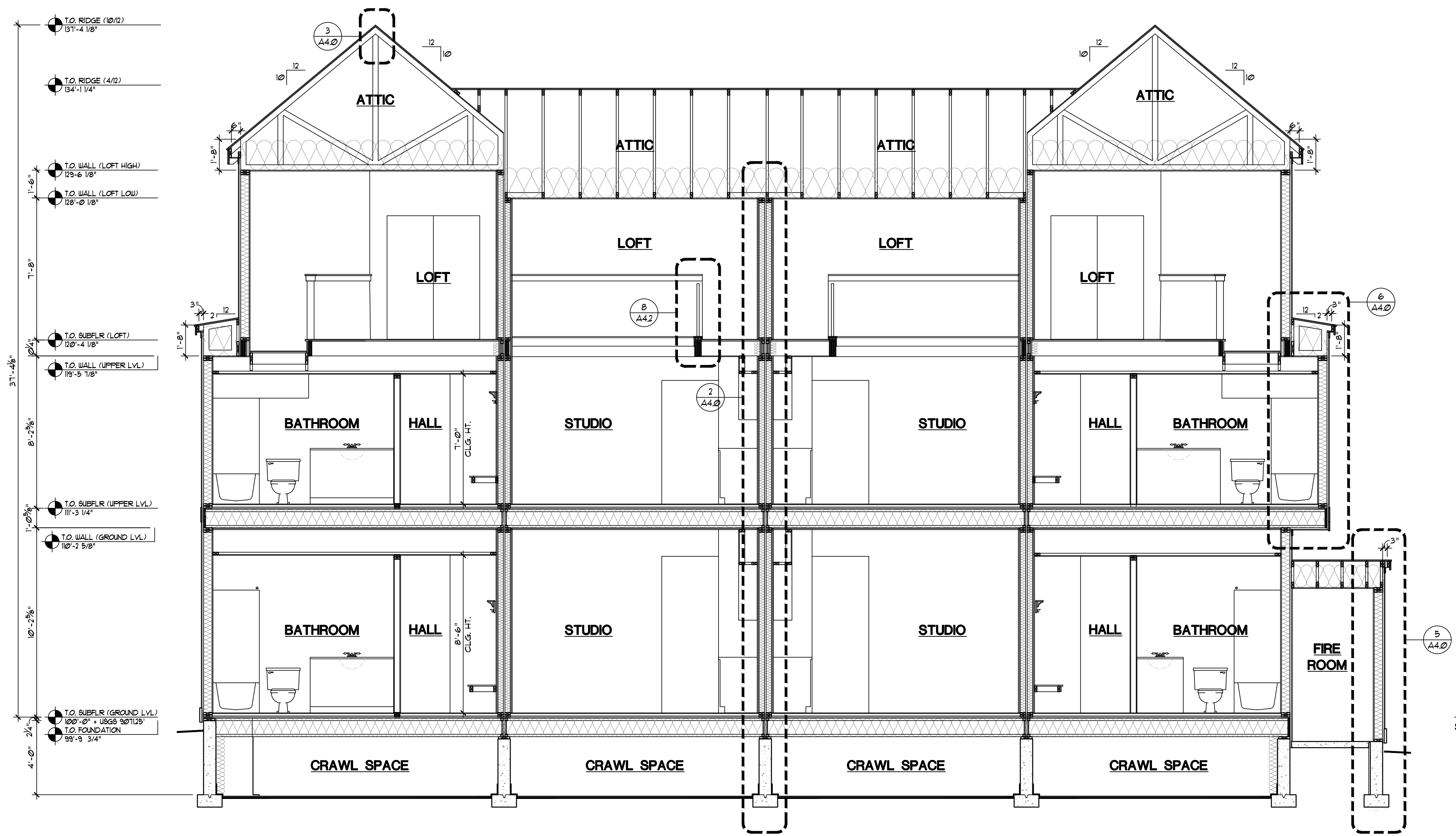
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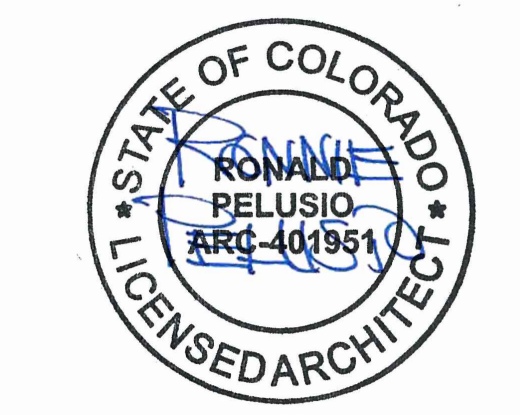
**BUILDING SECTION BB**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



**BUILDING SECTION AA**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



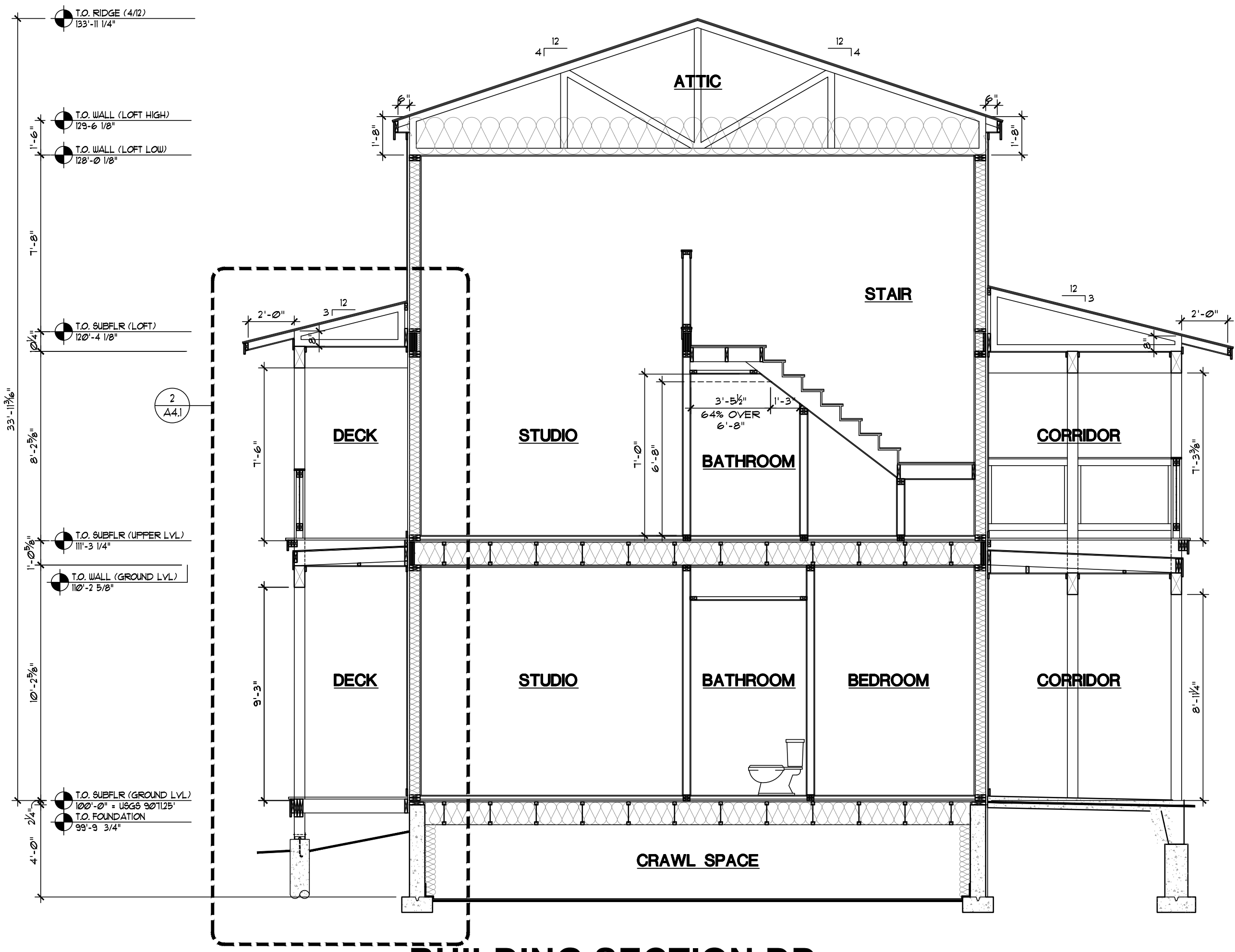
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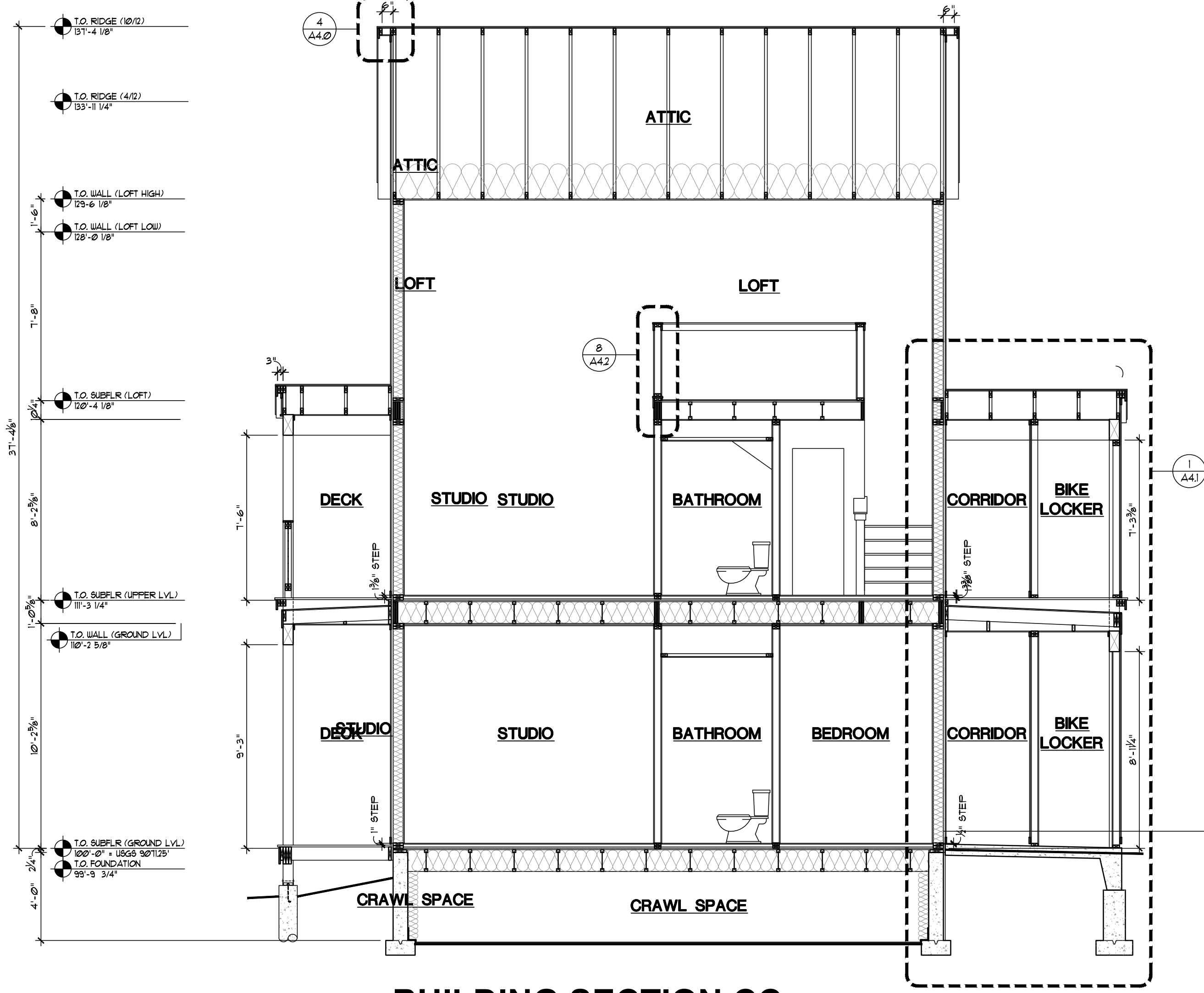
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**BUILDING SECTIONS**  
**A3.0**  
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DATE: 02-15-2023

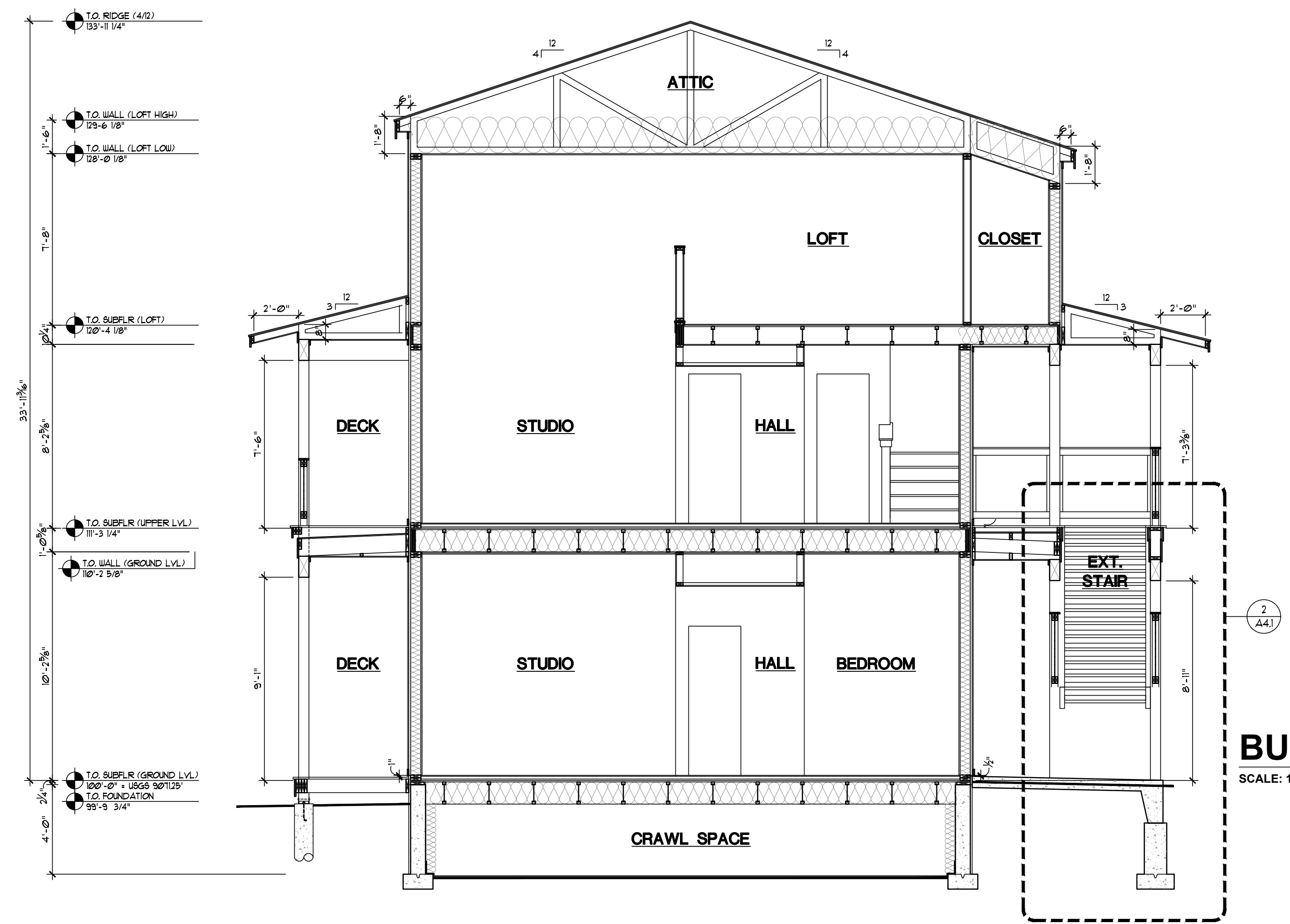




**BUILDING SECTION DD**  
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**BUILDING SECTION CC**  
SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



**BUILDING SECTION EE**  
SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



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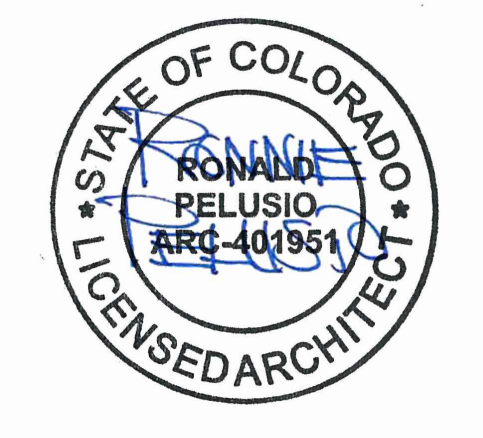
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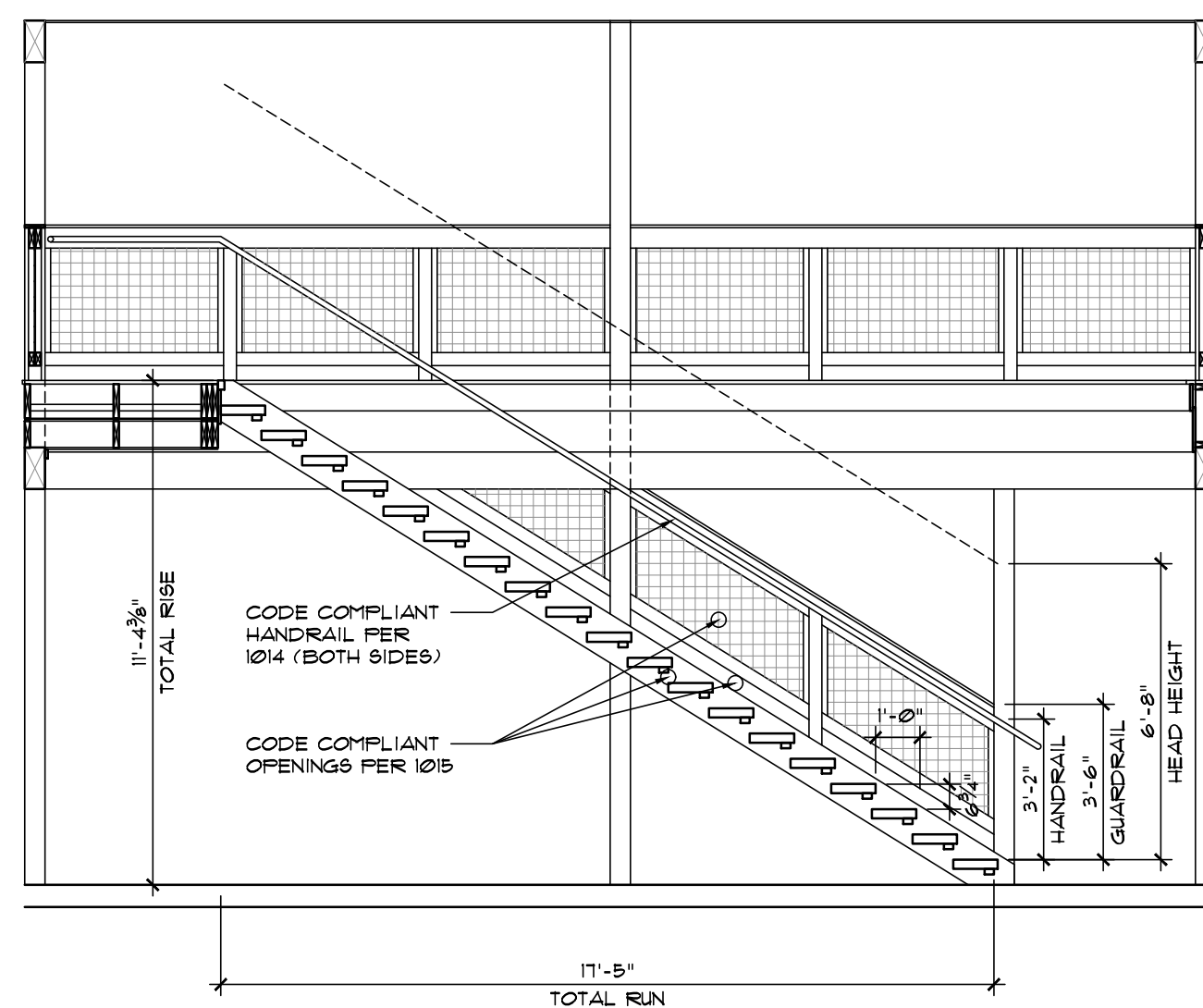
DATE	DESCRIPTION

BUILDING SECTIONS

**A3.1**

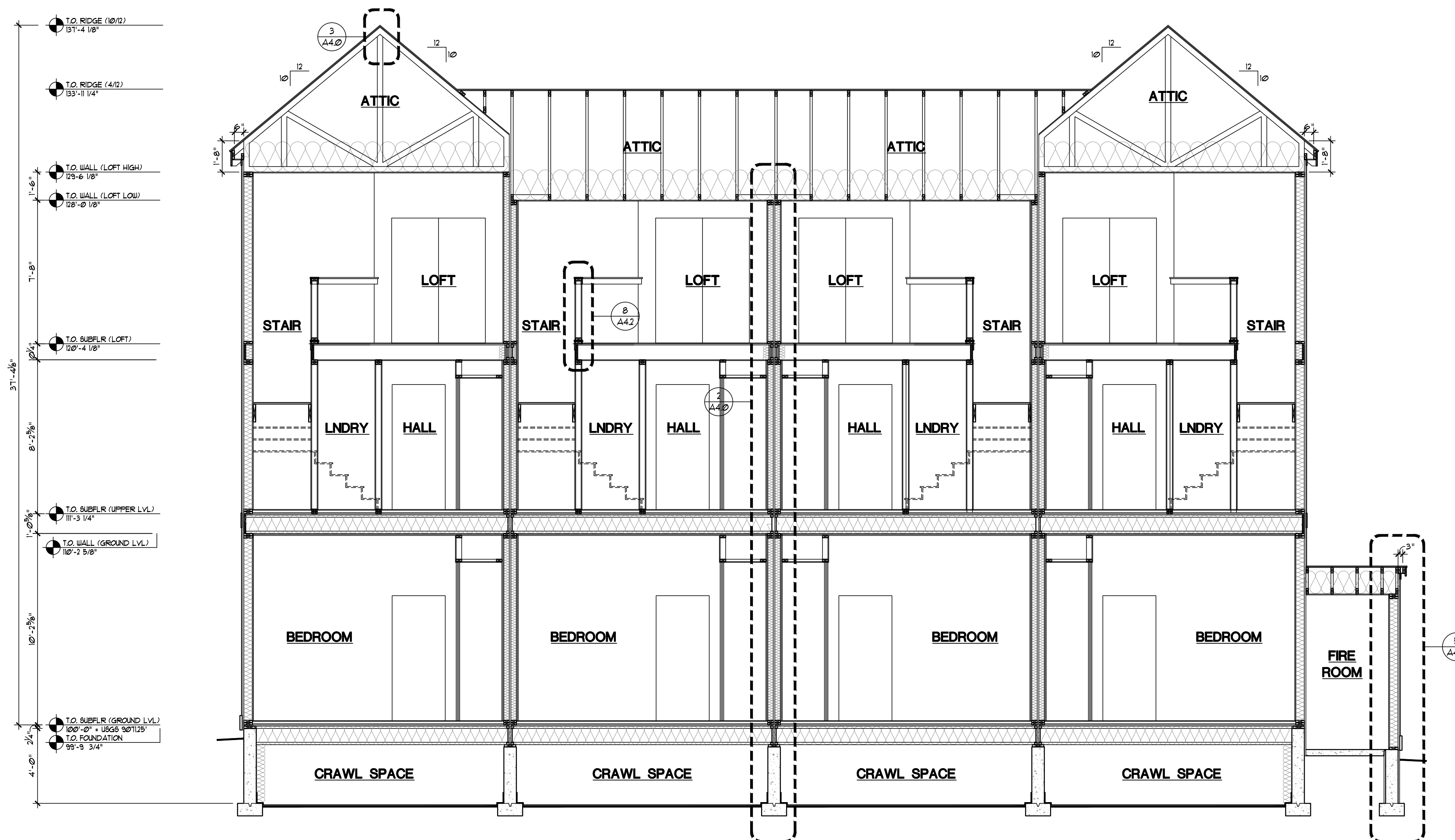
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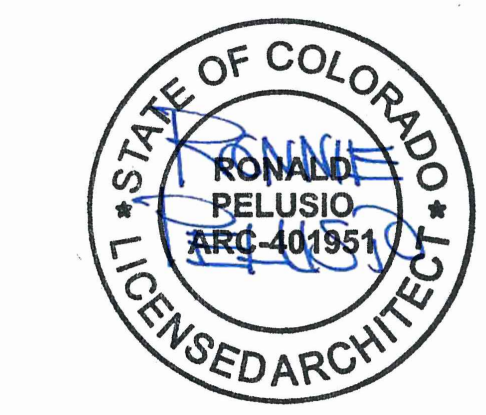
**BUILDING SECTION GG**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



**BUILDING SECTION FF**

SCALE: 1/4" = 1'-0" (1/8" = 1'-0" @ 11x17)



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LOFTS + STUDIOS  
8 UNIT BUILDING  
FRISCO, COLORADO 80443

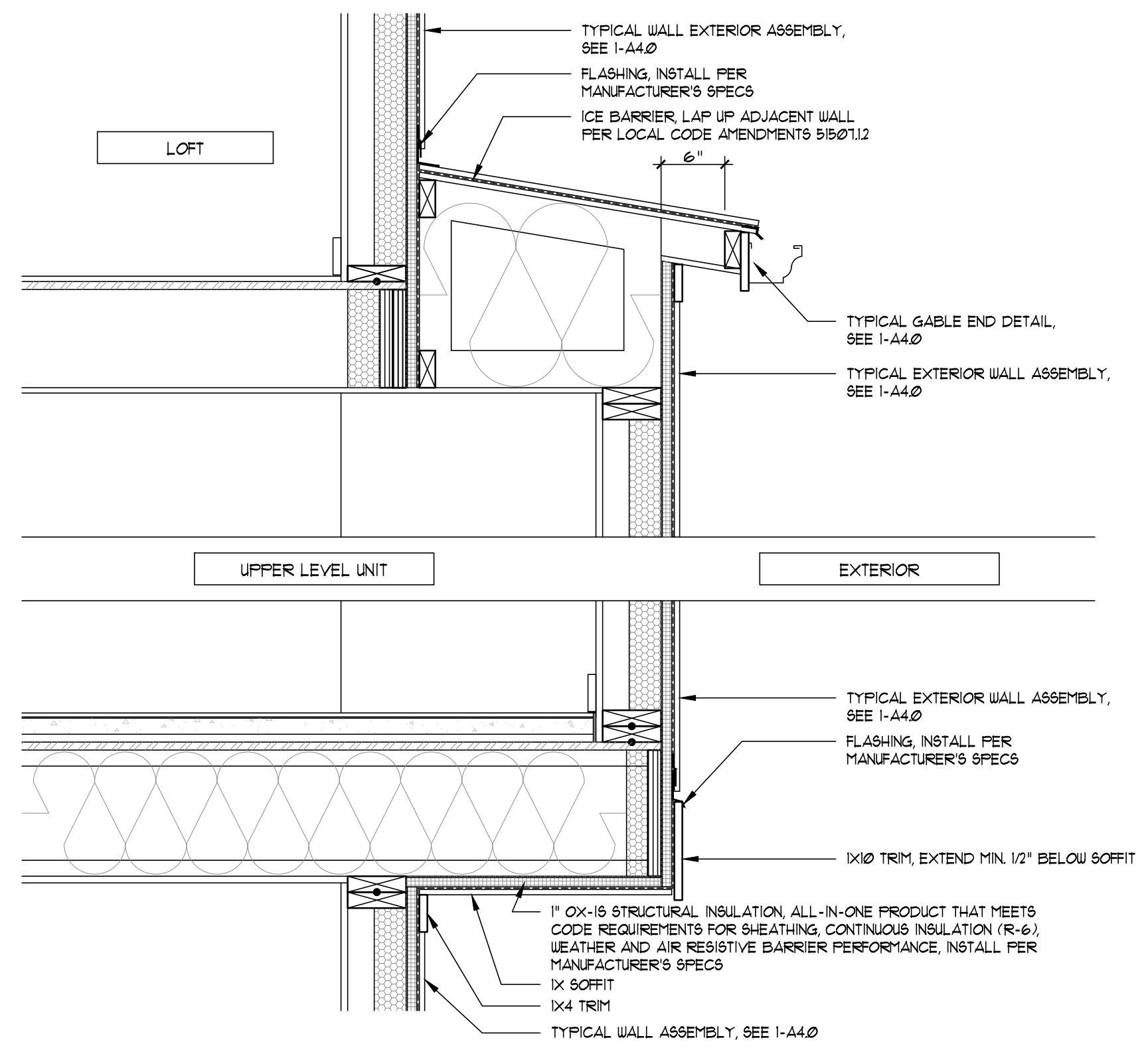
ISSUES AND REVISIONS	DATE	DESCRIPTION

**BUILDING SECTIONS**

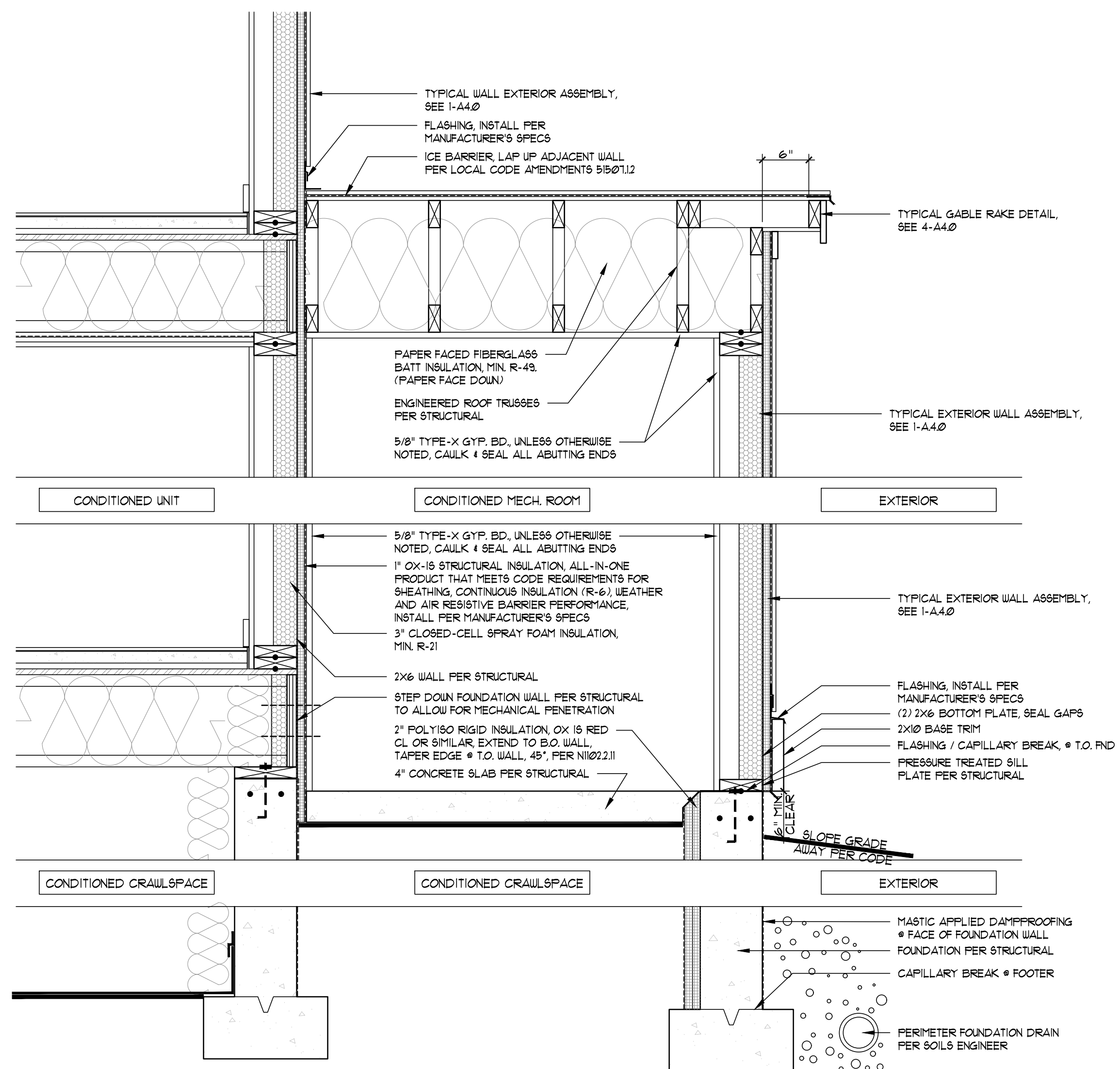
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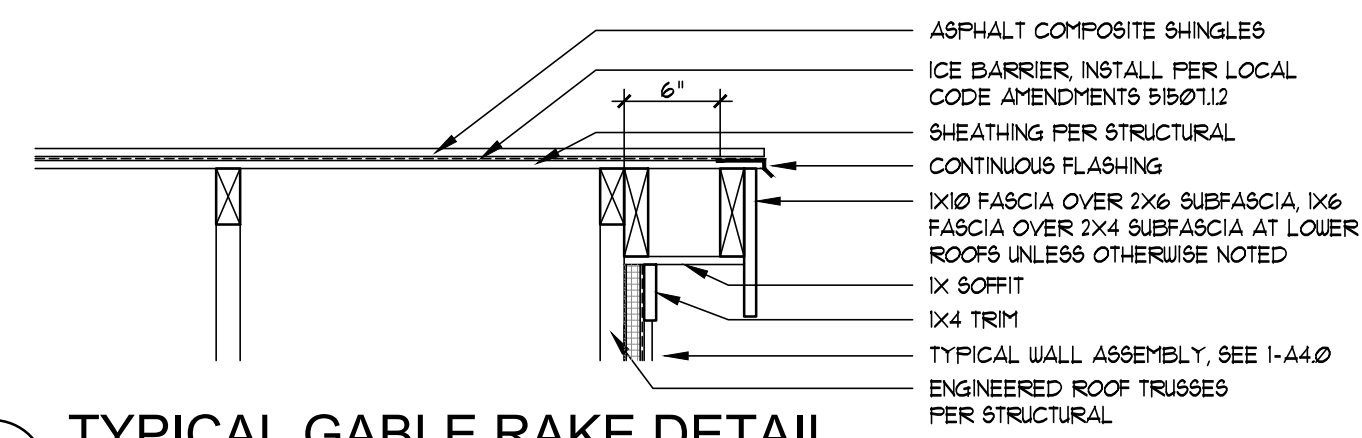
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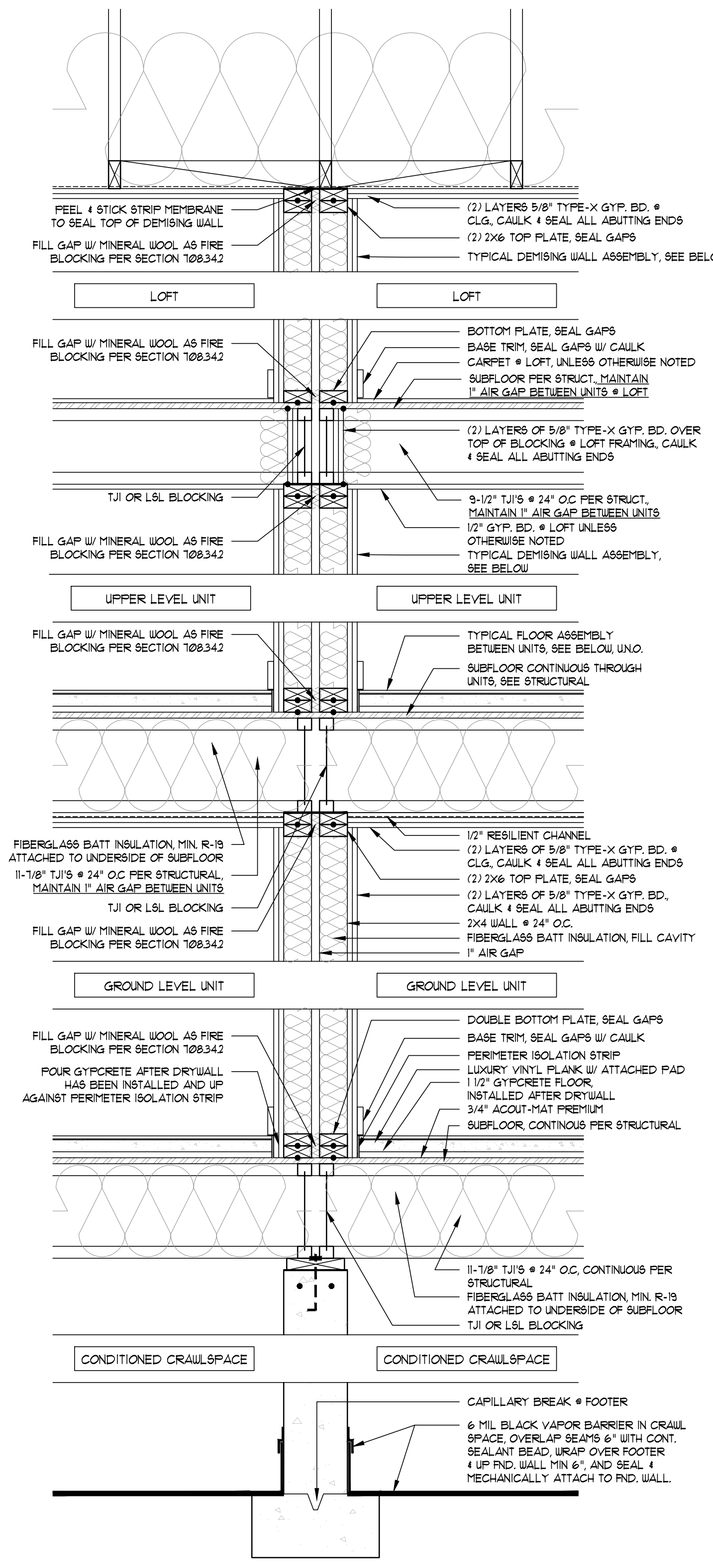
**5 CANTILEVER BUMPOUT DETAIL**  
SCALE: 1"=1'-0"



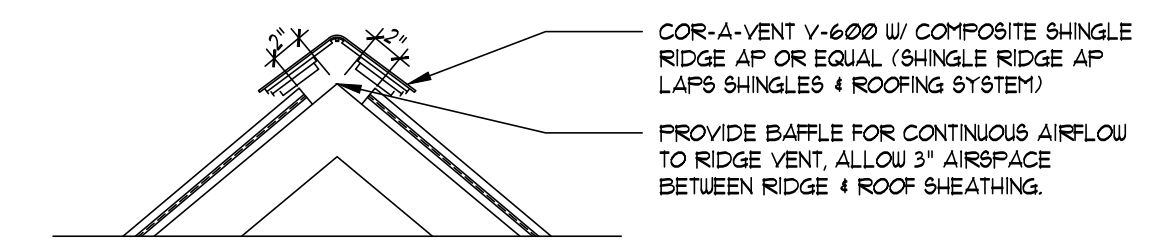
**5 MECHANICAL ROOM WALL DETAIL**  
SCALE: 1"=1'-0"



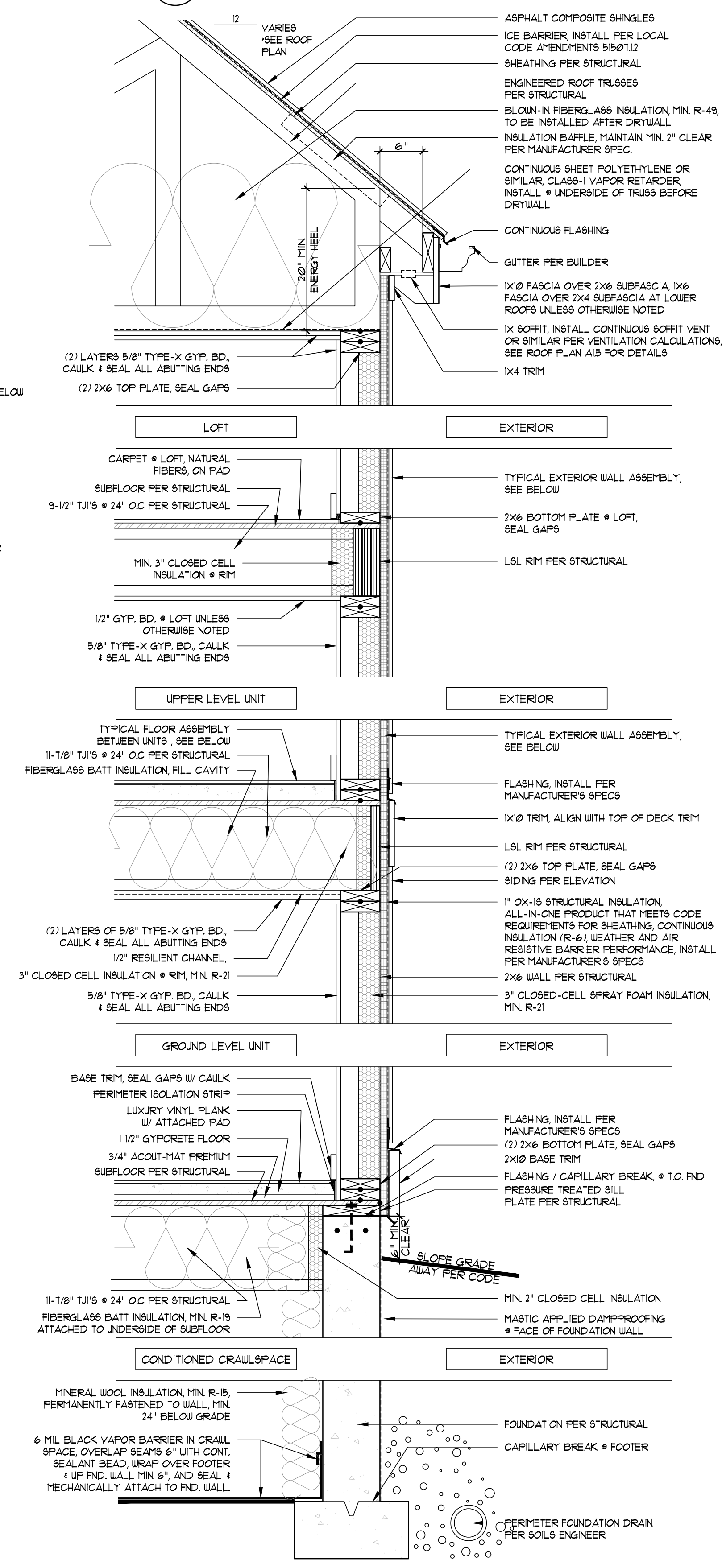
**4 TYPICAL GABLE RAKE DETAIL**  
SCALE: 1"=1'-0"



**2 DEMISING WALL DETAIL**  
SCALE: 1"=1'-0"



**3 RIDGE EXHAUST VENT**  
SCALE: 1"=1'-0"



**1 EXTERIOR WALL DETAIL**  
SCALE: 1"=1'-0"



TRADITIONAL NEIGHBORHOOD DEVELOPERS, INC.

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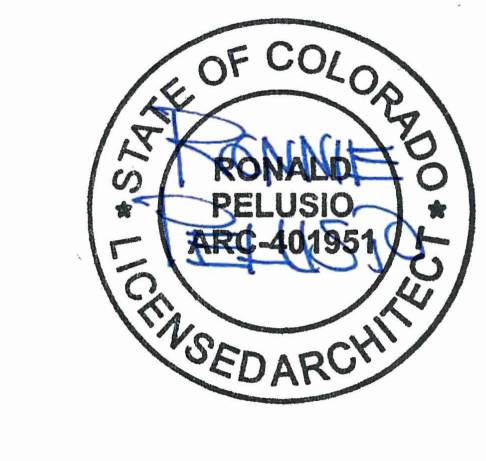
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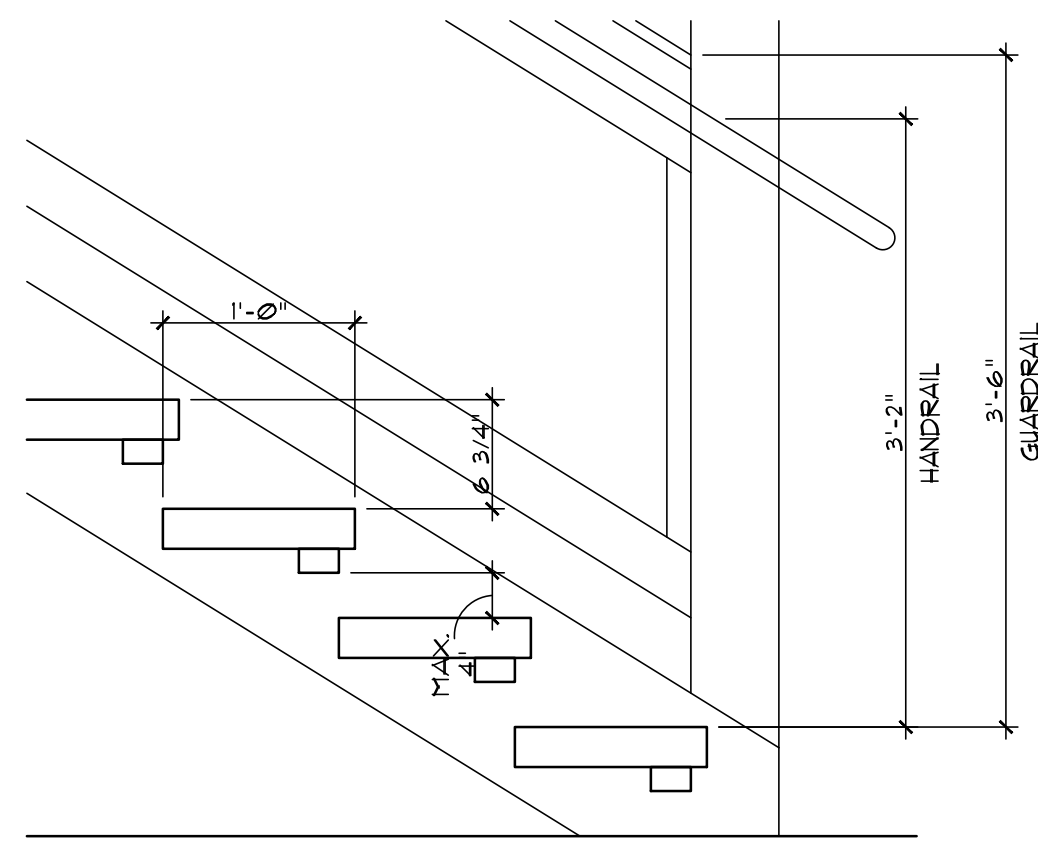
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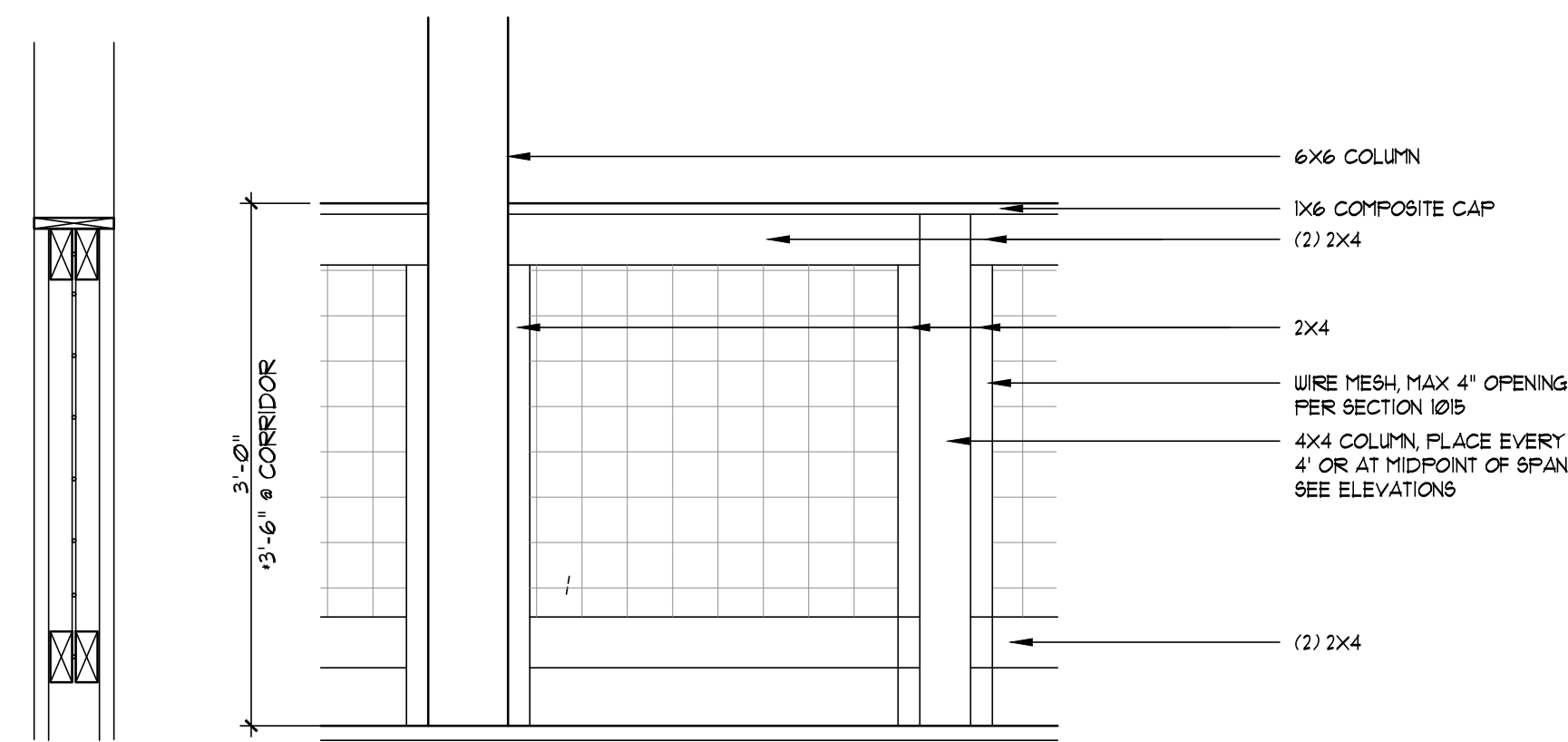
DATE	DESCRIPTION

**ARCHITECTURAL DETAILS**  
**A4.0**  
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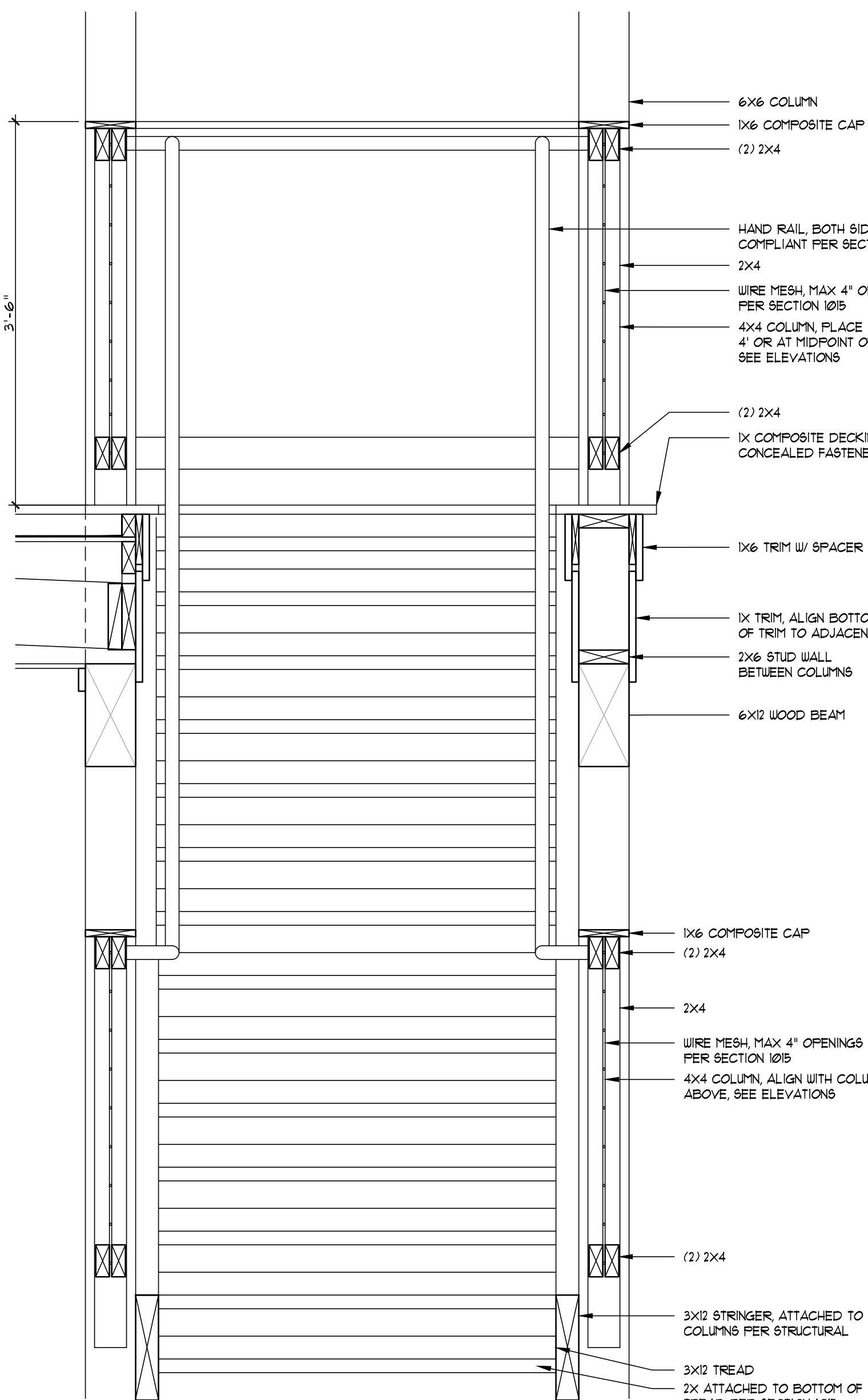
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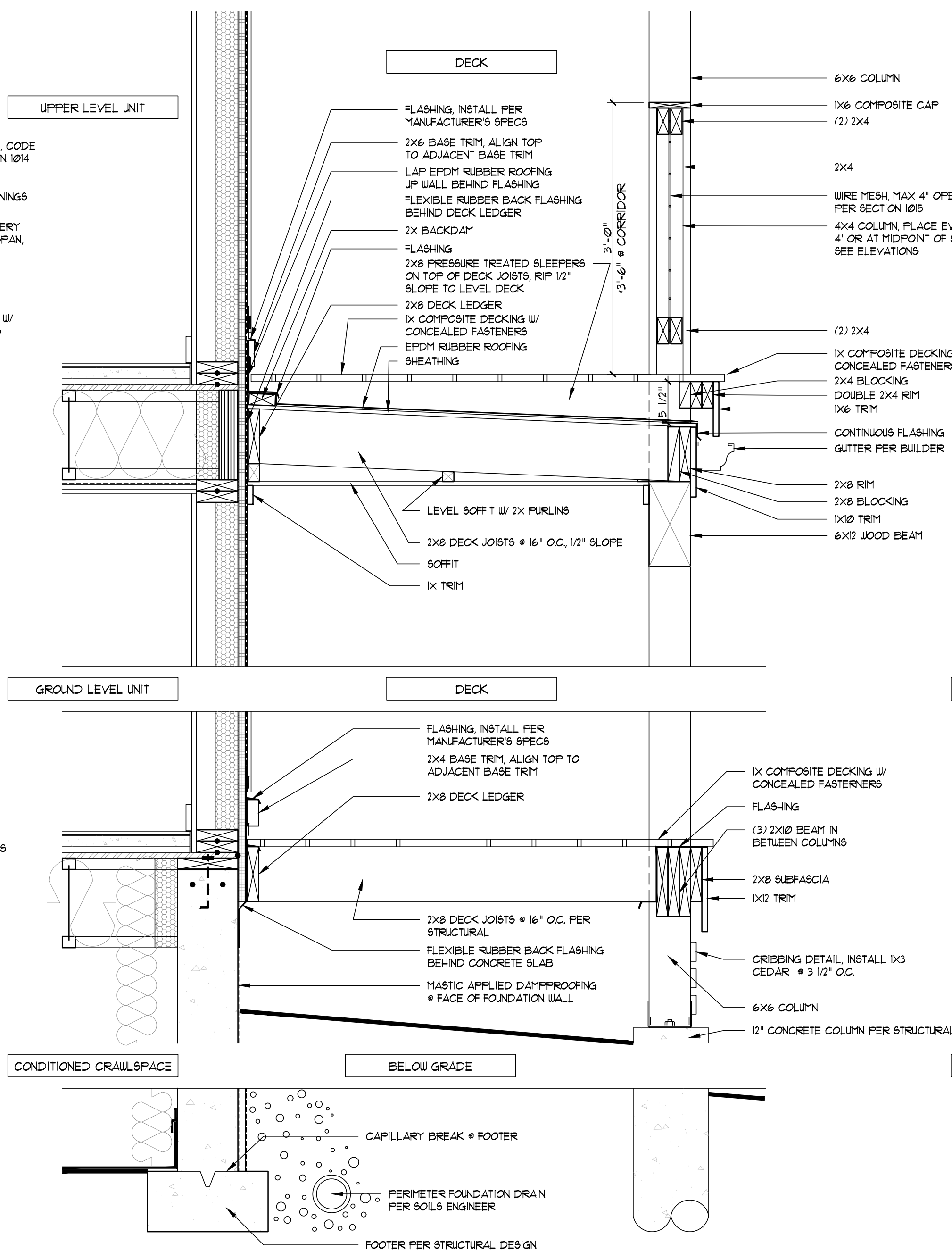
**5** EXTERIOR STAIR DETAIL  
SCALE: 1"=1'-0"



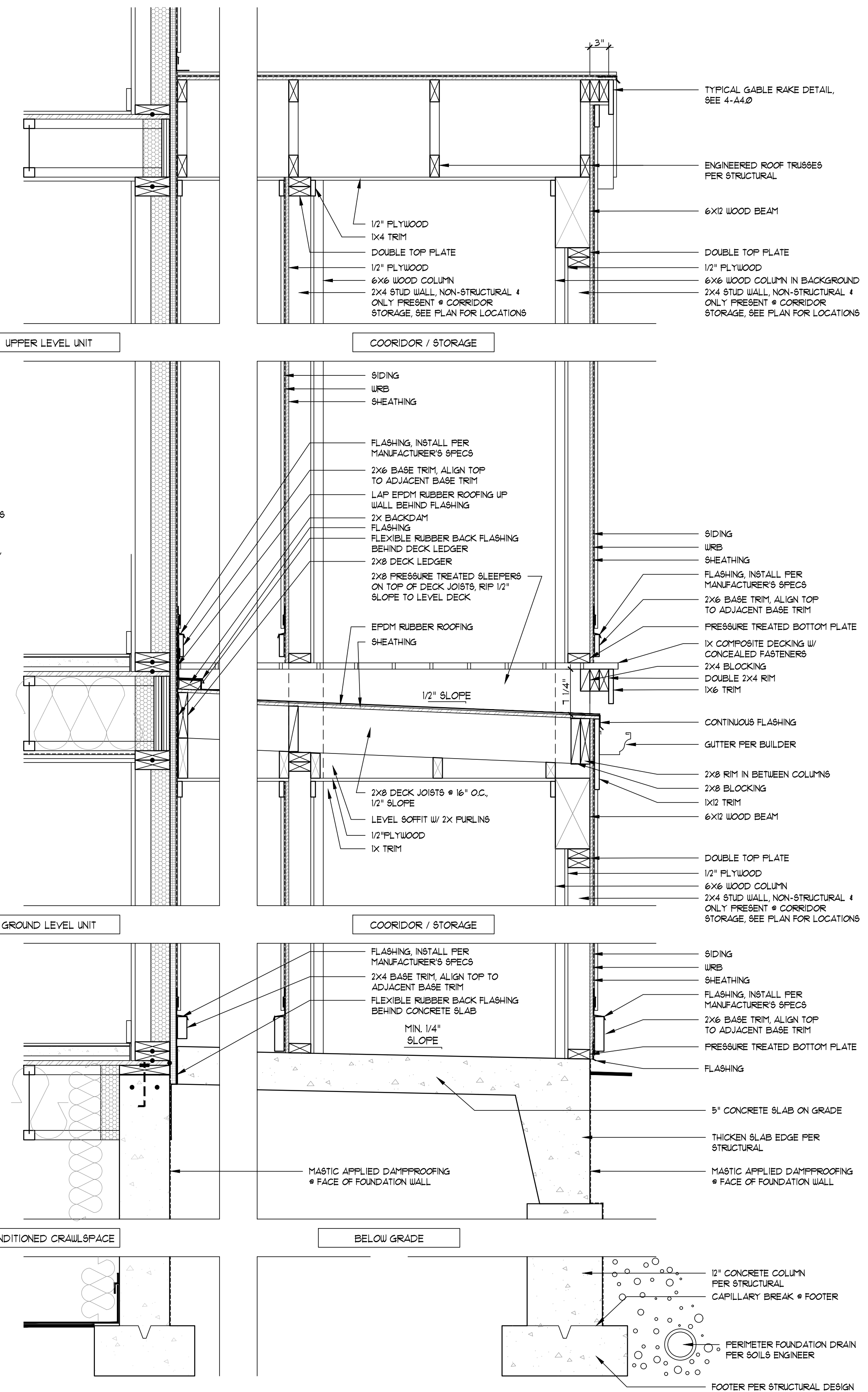
**3** GUARDRAIL DETAIL  
SCALE: 1"=1'-0"



**4** EXTERIOR CORRIDOR STAIR DETAIL  
SCALE: 1"=1'-0"



**2** EXTERIOR DECK DETAIL  
SCALE: 1"=1'-0"



**1** EXTERIOR CORRIDOR DETAIL  
SCALE: 1"=1'-0"



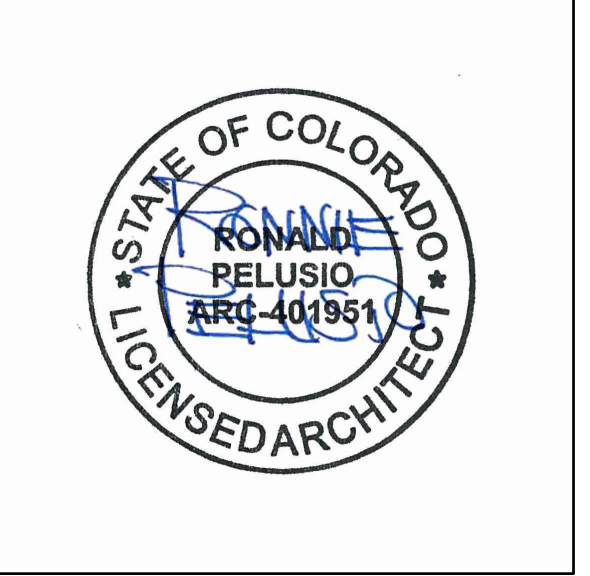
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**8 UNIT BUILDING**  
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ISSUES AND REVISIONS	DATE	DESCRIPTION

**ARCHITECTURAL DETAILS**  
**A4.1**  
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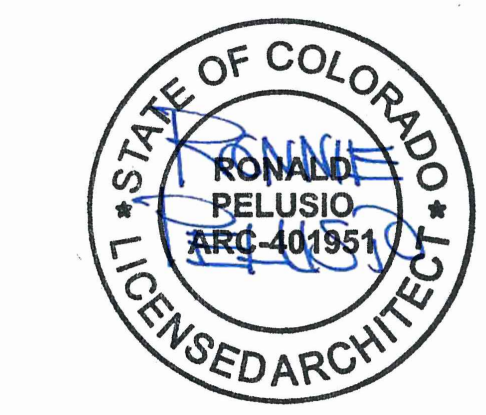
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BASECAMP  
LOFTS + STUDIOS  
8 UNIT BUILDING  
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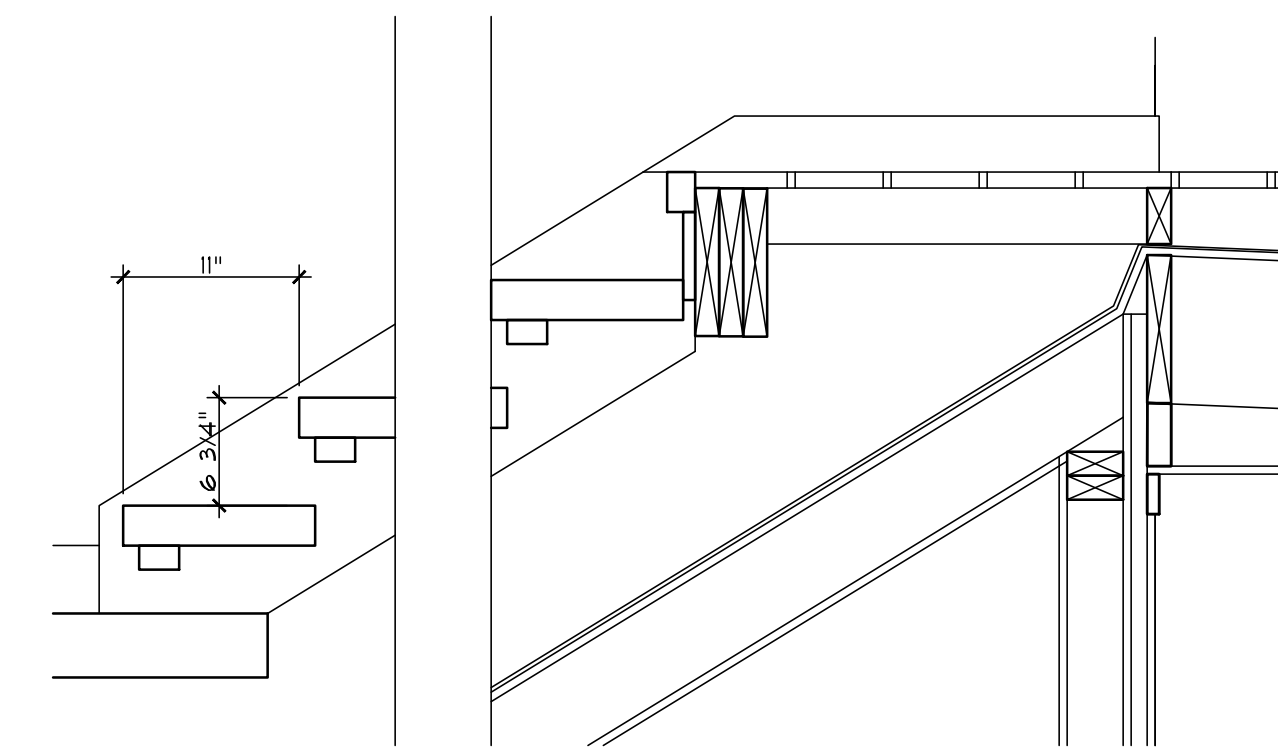
ISSUES AND REVISIONS  
DATE DESCRIPTION

ARCHITECTURAL  
DETAILS

**A4.2**

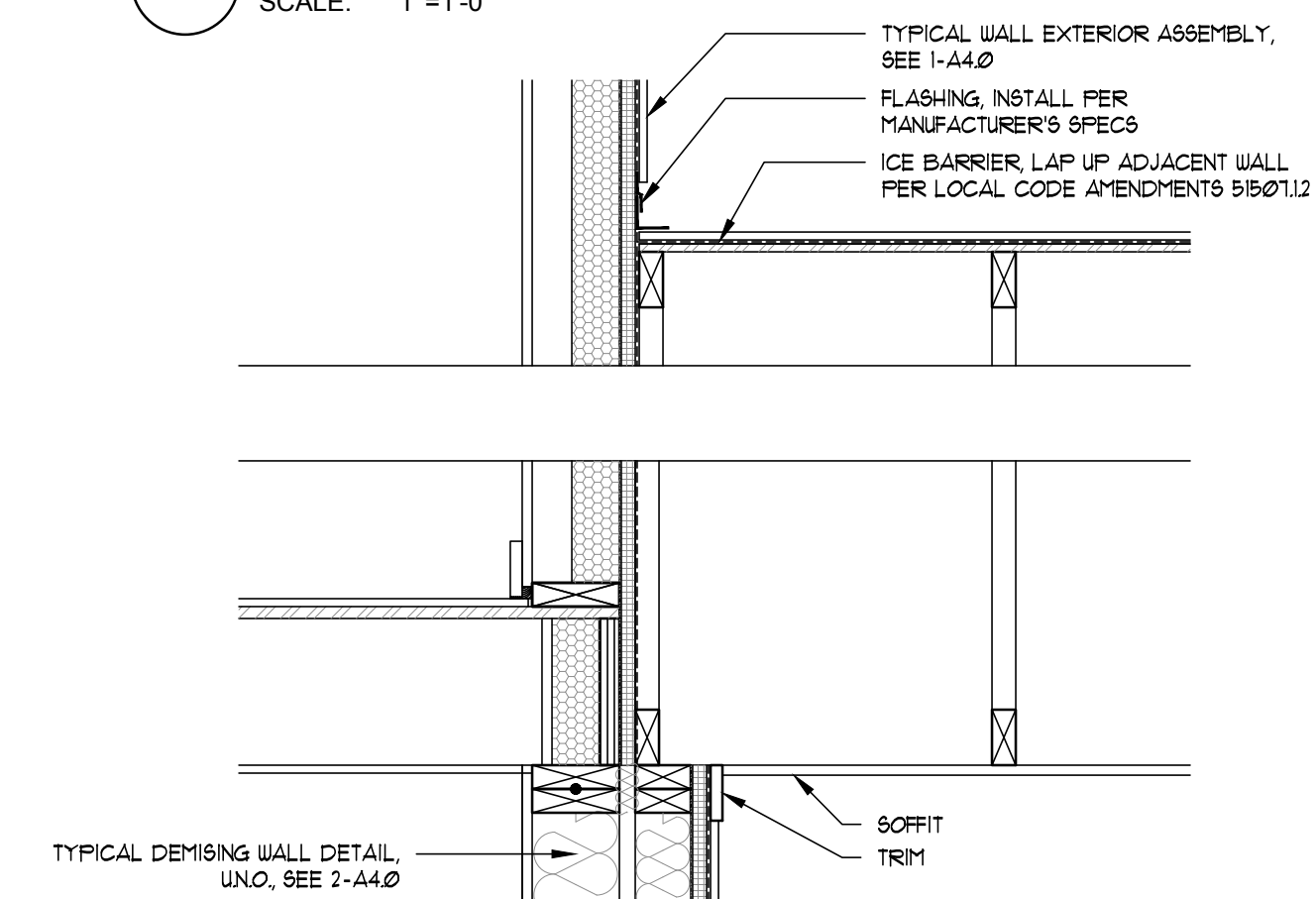
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DATE: 02-15-2023

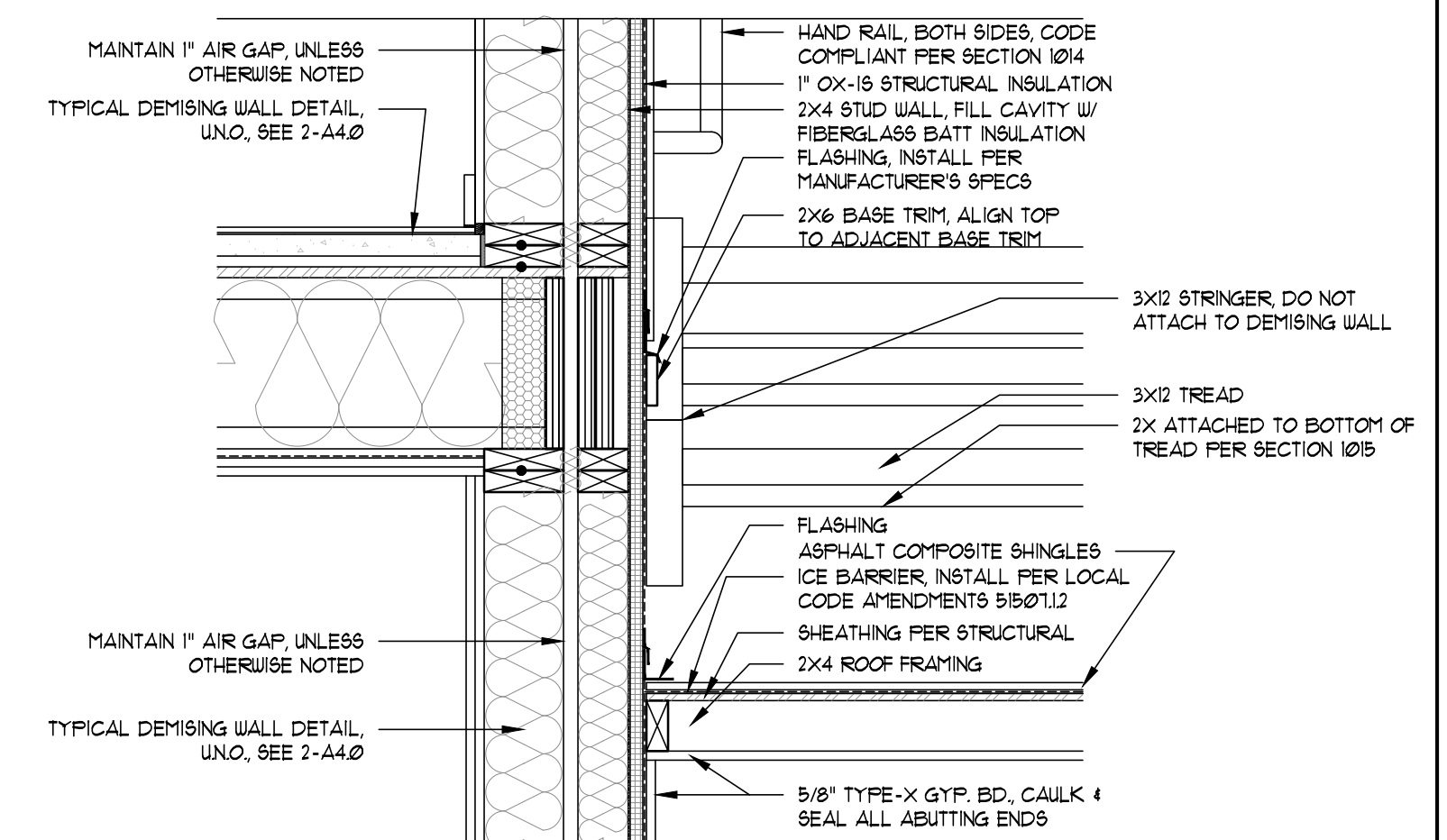


2 EXTERIOR STAIR DETAIL

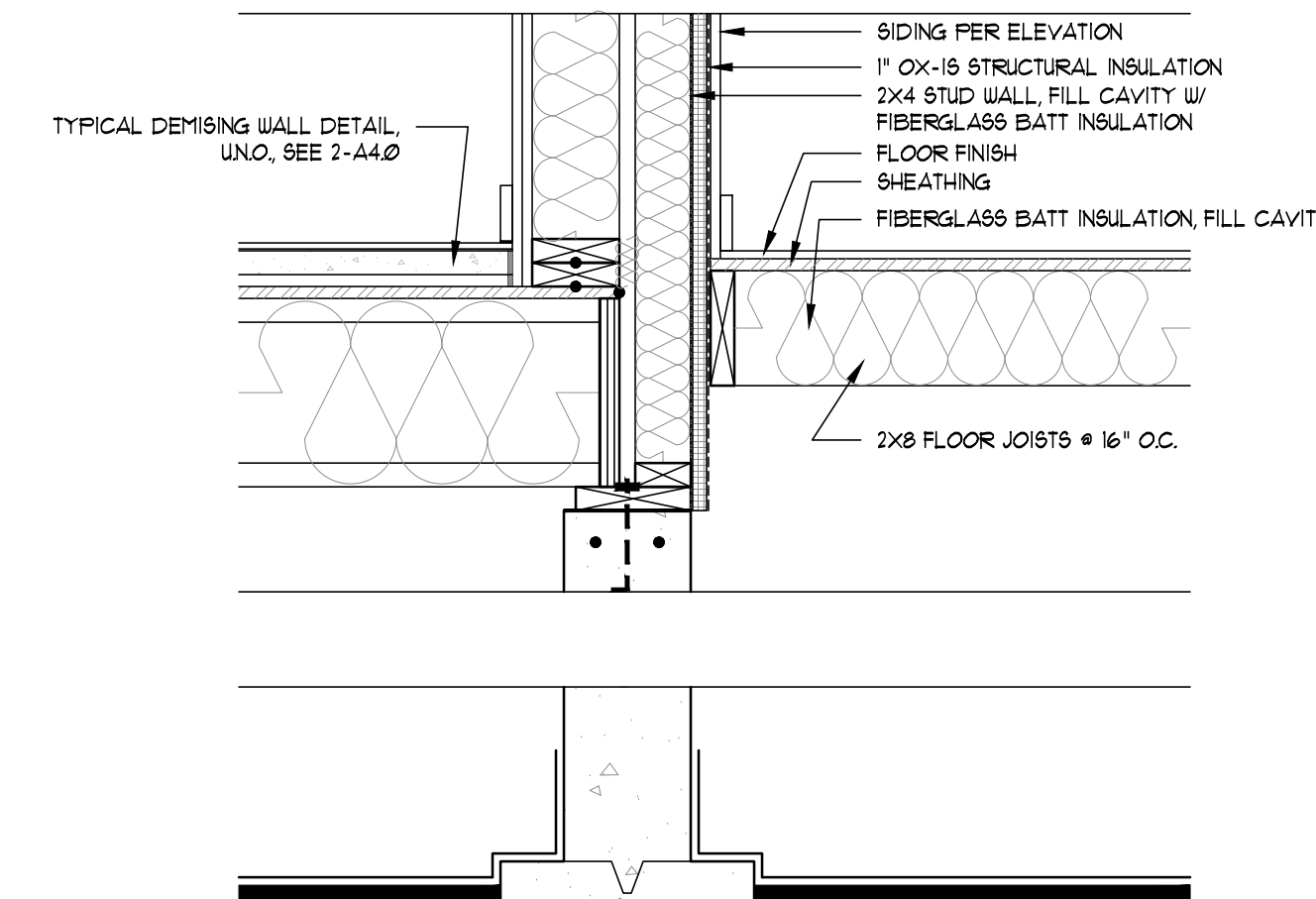
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TYPICAL DEMISING WALL DETAIL, UNO, SEE 2-A4.0



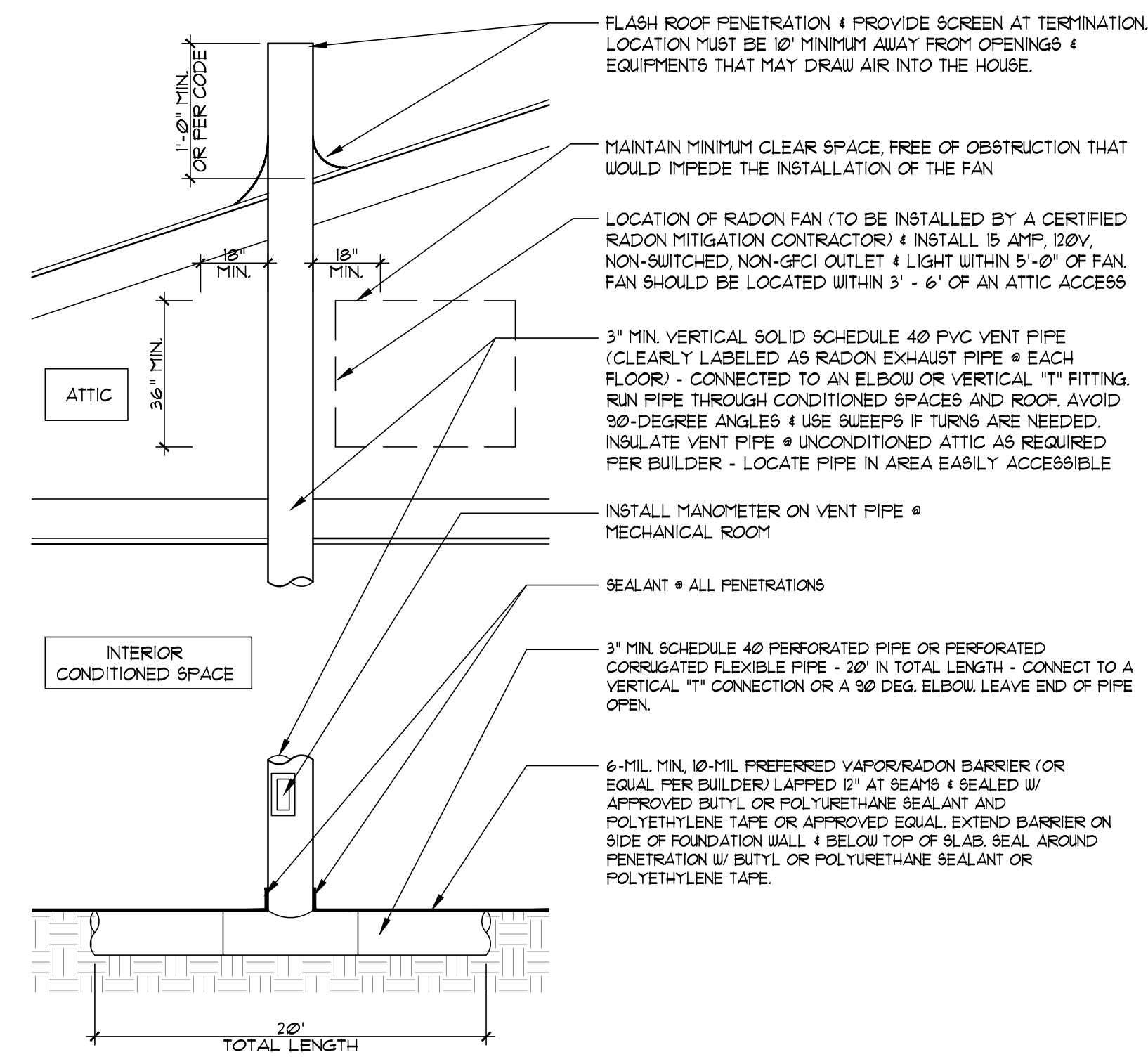
TYPICAL DEMISING WALL DETAIL, UNO, SEE 2-A4.0



TYPICAL DEMISING WALL DETAIL, UNO, SEE 2-A4.0

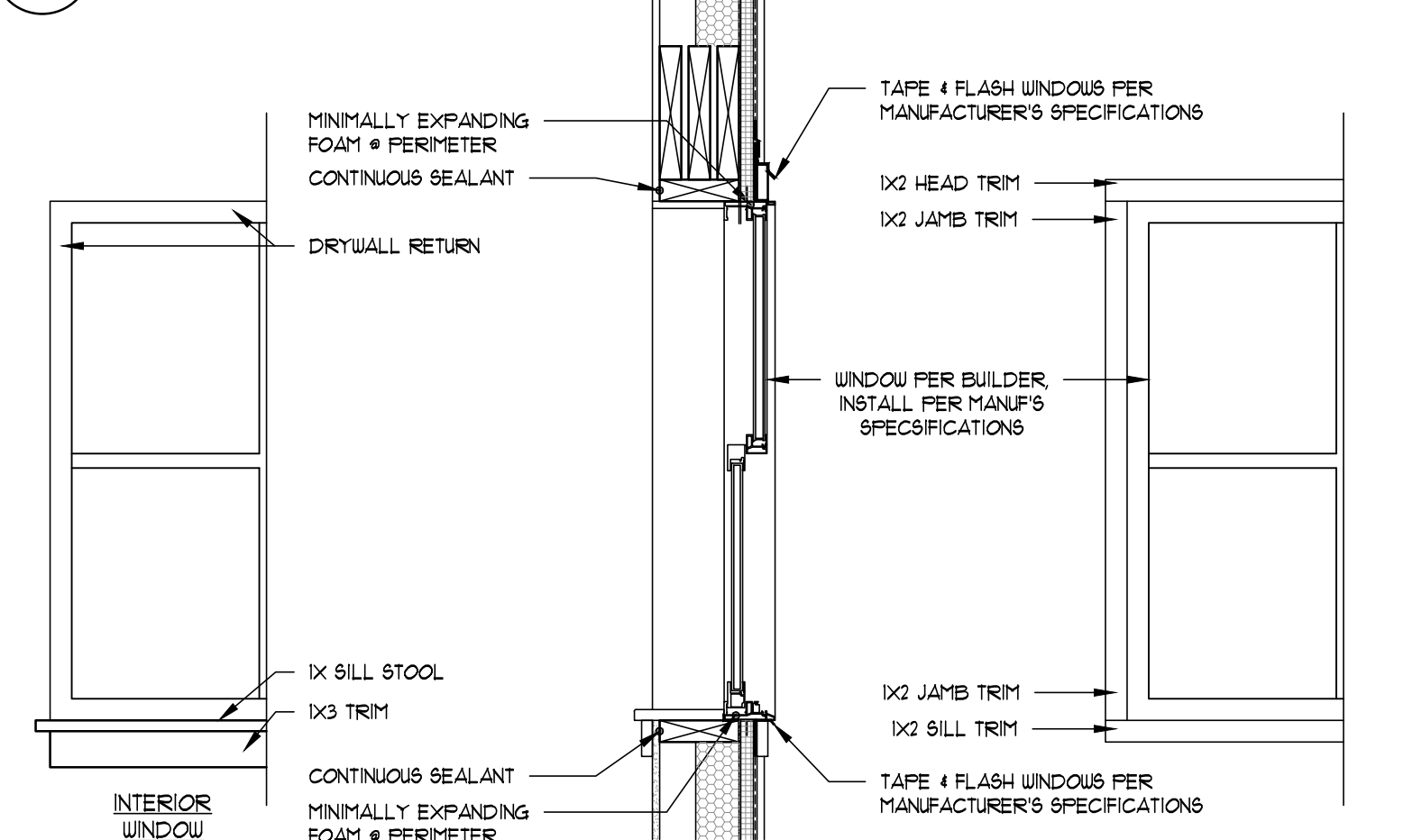
1 EXTERIOR STAIR BETWEEN UNITS DETAIL

SCALE: 1"=1'-0"



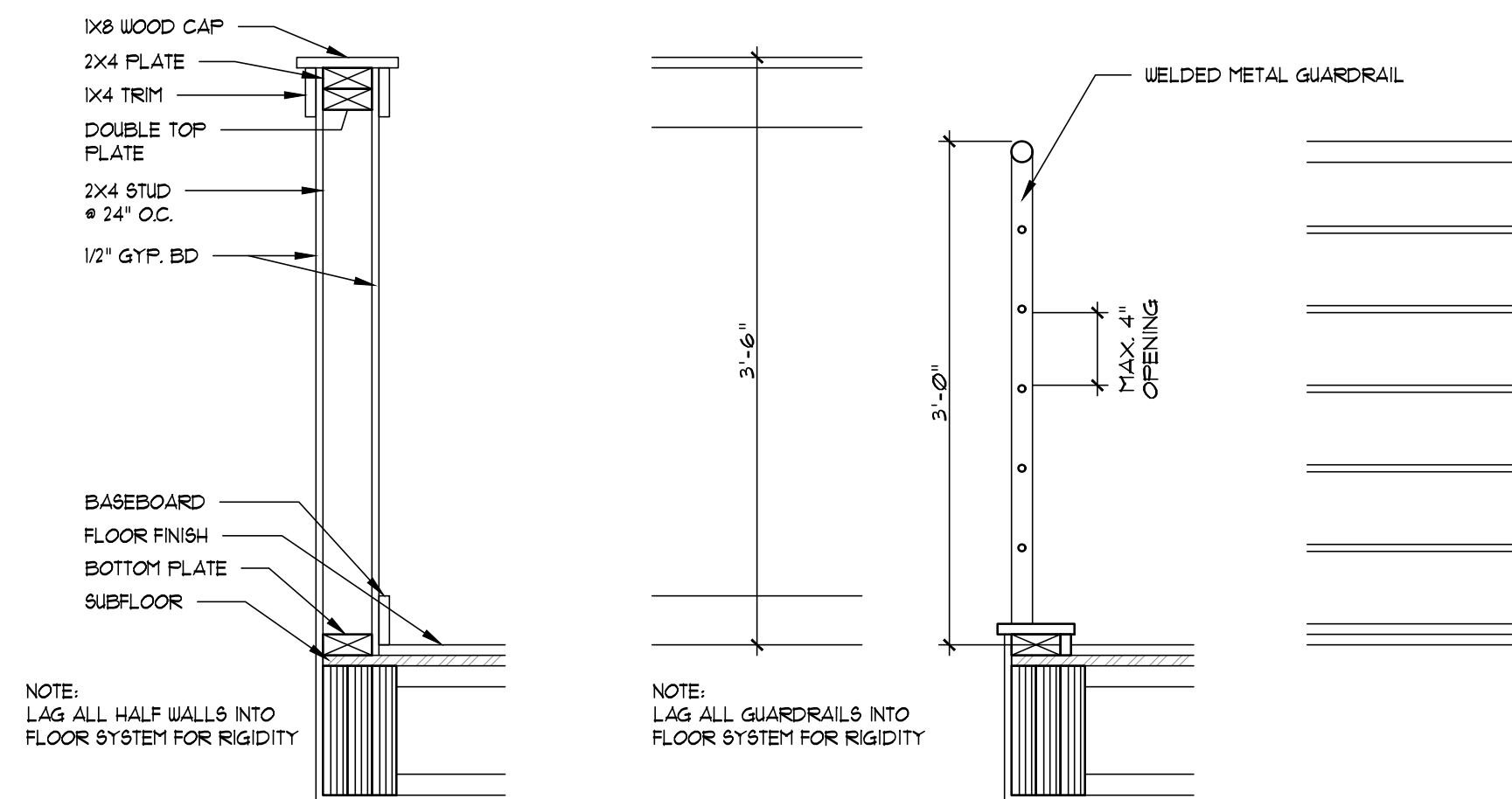
4 RADON MITIGATION DETAIL

SCALE: 1"=1'-0"



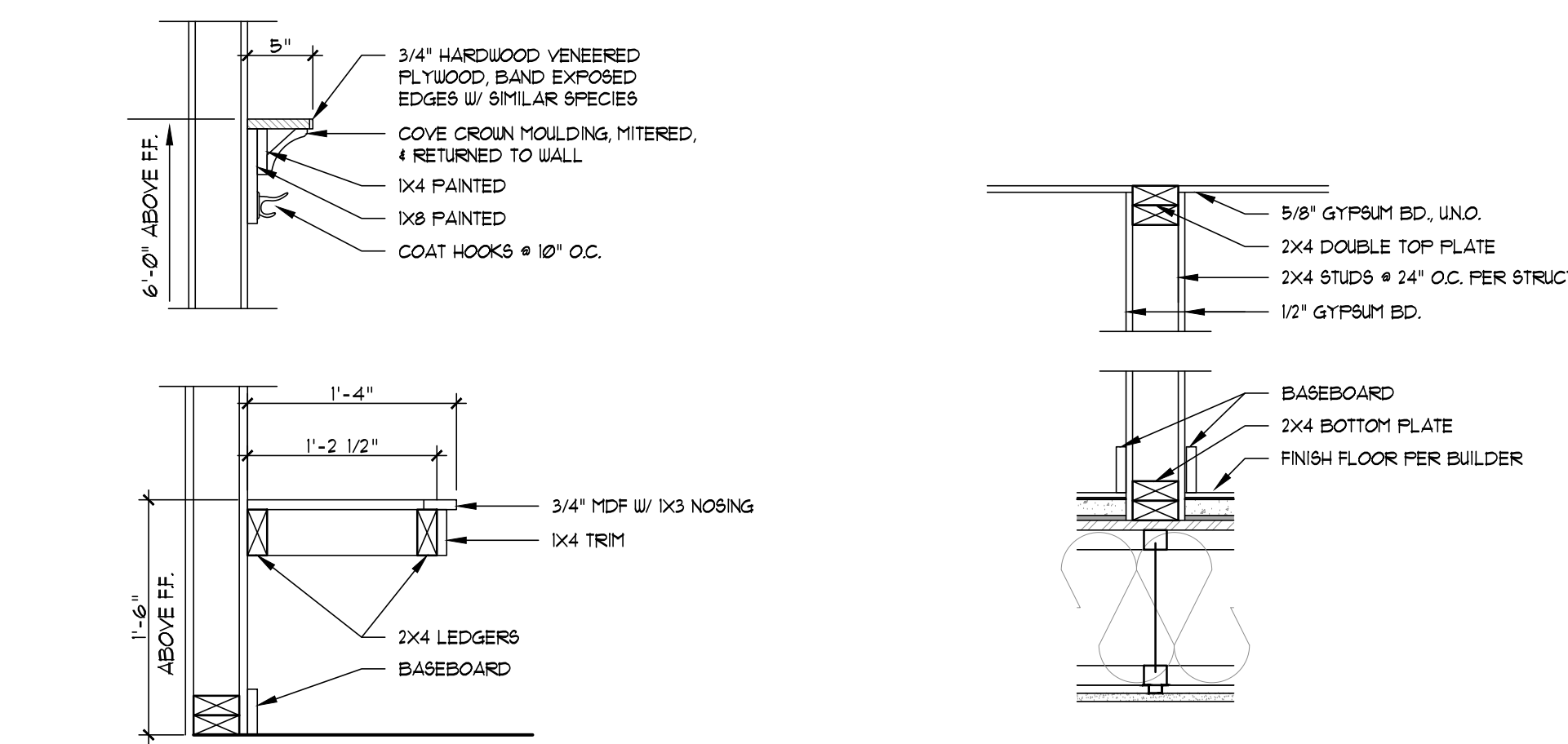
3 WINDOW TRIM & FLASHING DETAILS

SCALE: 1"=1'-0"



8 TYP. HALF WALL & GUARDRAIL DETAIL

SCALE: 1"=1'-0"

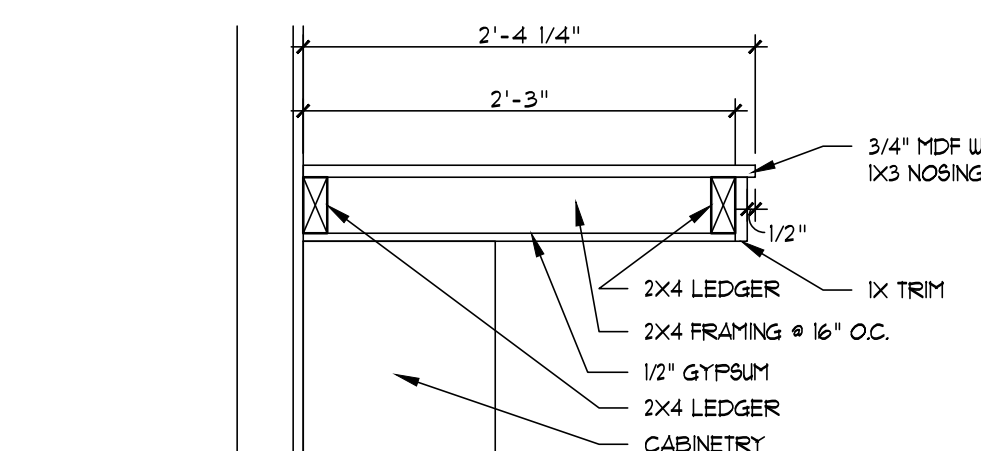


7 BENCH, HOOK, & SHELF DTL.

SCALE: 1"=1'-0"

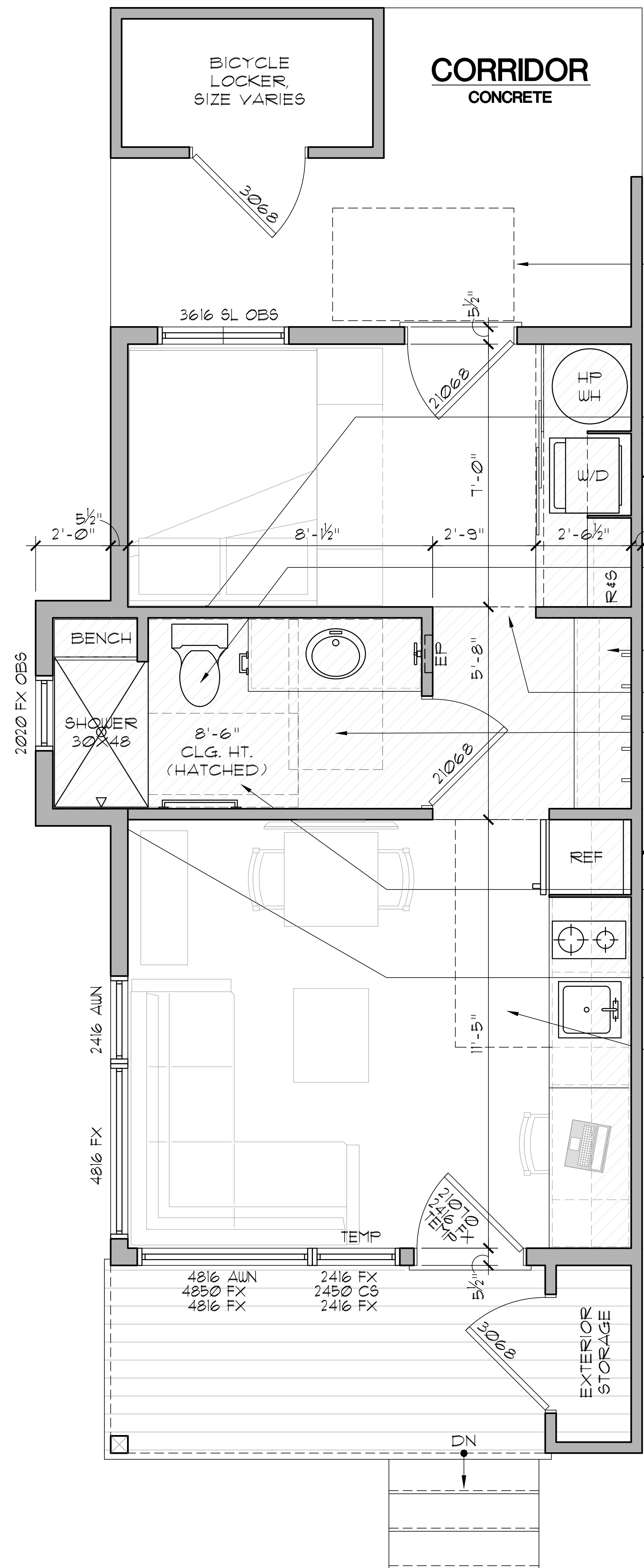
6 INTERIOR WALL DETAIL

SCALE: 1"=1'-0"



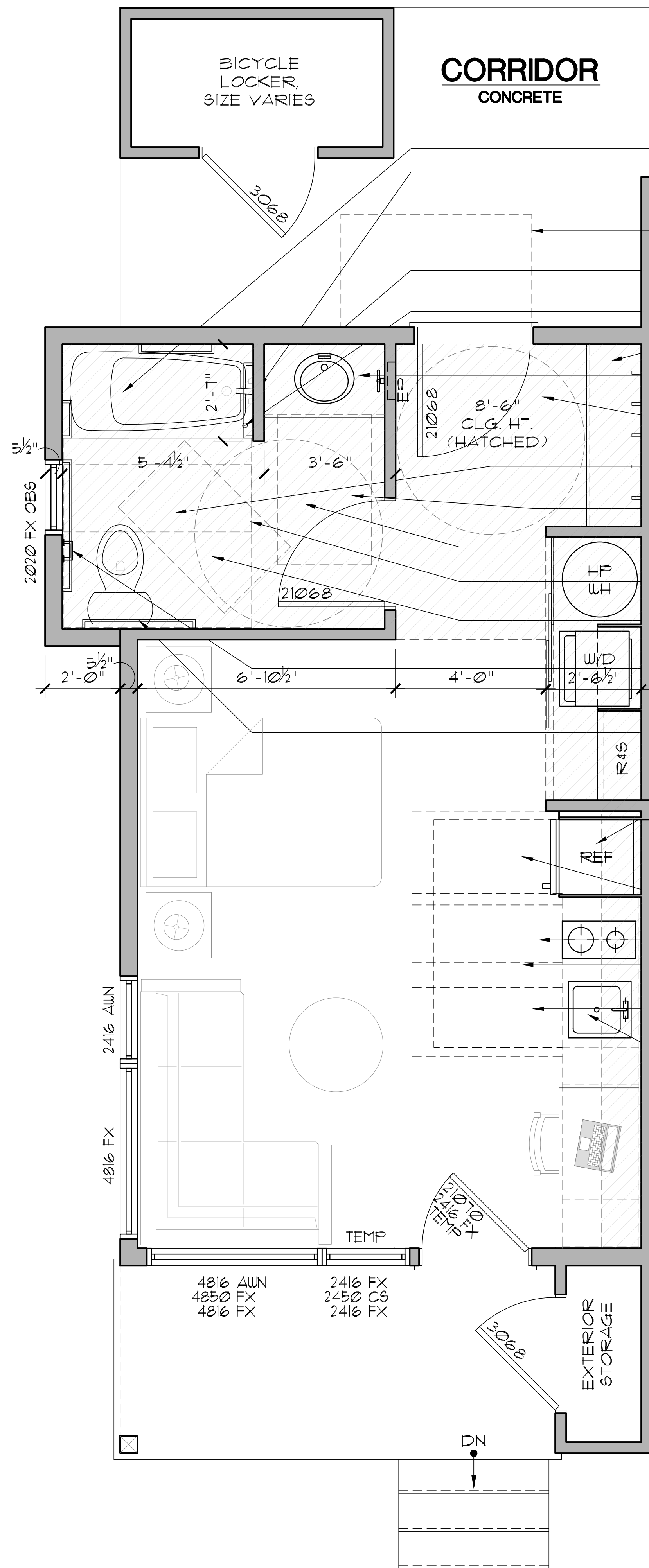
5 SHELF ABOVE CAB. DTL.

SCALE: 1"=1'-0"



**GROUND LEVEL UNIT TYPE-B PLAN**

SCALE: 1/2" = 1'-0" (1/4" = 1'-0" @ 11x17)



**GROUND LEVEL UNIT TYPE-A PLAN**

SCALE: 1/2" = 1'-0" (1/4" = 1'-0" @ 11x17)

PRIMARY ENTRANCE W/ SIDE APPROACH, 36" X 48", PER SECT. 404

PROVIDE BLOCKING FOR SWING-UP GRAB BARS PER SECT. 1004.11.1.1

PROVIDE FIRE-RATED OUTLET FOR W/D AT DEMISING WALL, TYP. ALL

WATER CLOSET WITH PARALLEL APPROACH & CLEARANCE, 48" X 56", W/ CLEARANCE OVERLAP PER SECT. 1004.11.3.1.2.2.4

BENCH & HOOKS, SEE DETAIL 7-A4.2

MIN. 32" CLR OPENING WIDTH PER SECT. 404.2.2

LAVATORY W/ FRONT APPROACH, 30" X 48", MEETS EXCEPTIONS OF SECT. 1004.11.3.1.1 (a) CABINETRY CAN BE REMOVED AND (b) FLOOR FINISH EXTENDS UNDERNEATH

PROVIDE FIRE-RATED OUTLET FOR REF AT DEMISING WALL, TYP. ALL

FORWARD APPROACH SHOWER PER SECT. 1004.11.3.1.3.2, 60" X 48" W/ PERMITTED W.C. & LAV. ENCROACHMENT

PROVIDE BLOCKING FOR GRAB BARS FOR SHOWER WITHOUT PERMANENT SEAT PER 607.4.2

30" CLEAR WORKING SPACE, DASHED LINE, IN FRONT OF KITCHEN & LAUNDRY APPLIANCES

IN-TUB BATH SEAT  
BATHUB, PROVIDE CONTROLS & SHOWER HEAD PER ICC A117.1 2018 607.4 & 1003.11.1.

PRIMARY ENTRANCE W/ SIDE APPROACH, 36" X 48", PER SECT. 404  
MIRROR, LOCATE BOTTOM OF MIRROR @ 40" MAX.  
GRAB BARS PROVIDED PER SECT 60

BENCH & HOOKS, SEE DETAIL 7-A4.2  
T.O. COUNTER TOP @ 34", REMOVABLE CABINET BELOW  
60" DIA TURNING SPACE WITHIN ENTRY

30X60 PARALLEL APPROACH BATH TUB  
60" DIA TURNING SPACE WITHIN BATHROOM  
30X48 FORWARD APPROACH LAVATORY  
30X48 CLEAR FLOOR AREA BEYOND DOOR  
56X60 CLEAR FLOOR AREA FOR TOILET

TOILET PAPER DISPENSER, LOCATE WITHIN 24"-42" FROM REAR WALL AND 18"-48" ABOVE FLOOR.  
GRAB BARS PROVIDED PER ICC A117.1-2018 604.5 & 1003.11.1.

REFRIGERATOR & FREEZER, COMPLY WITH ICC A117.1 -2018 & 1003.12.3.6.

PROVIDE FIRE-RATED OUTLET FOR REF AT DEMISING WALL, TYP. ALL

30X48 FRIDGE CLEAR FLOOR SPACE  
30X48 COOK TOP CLEAR SPACE

40" MIN. CLEARANCE IN FRONT OF APPLIANCES  
30X48 FRONT APPROACH FOR SINK

FLOOR FINISH, EXTEND BENEATH REMOVABLE CABINET @ SINKS IN BATH AND KITCHEN.



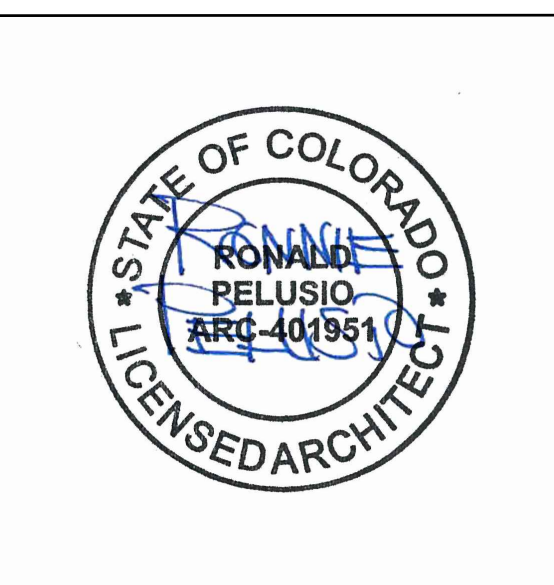
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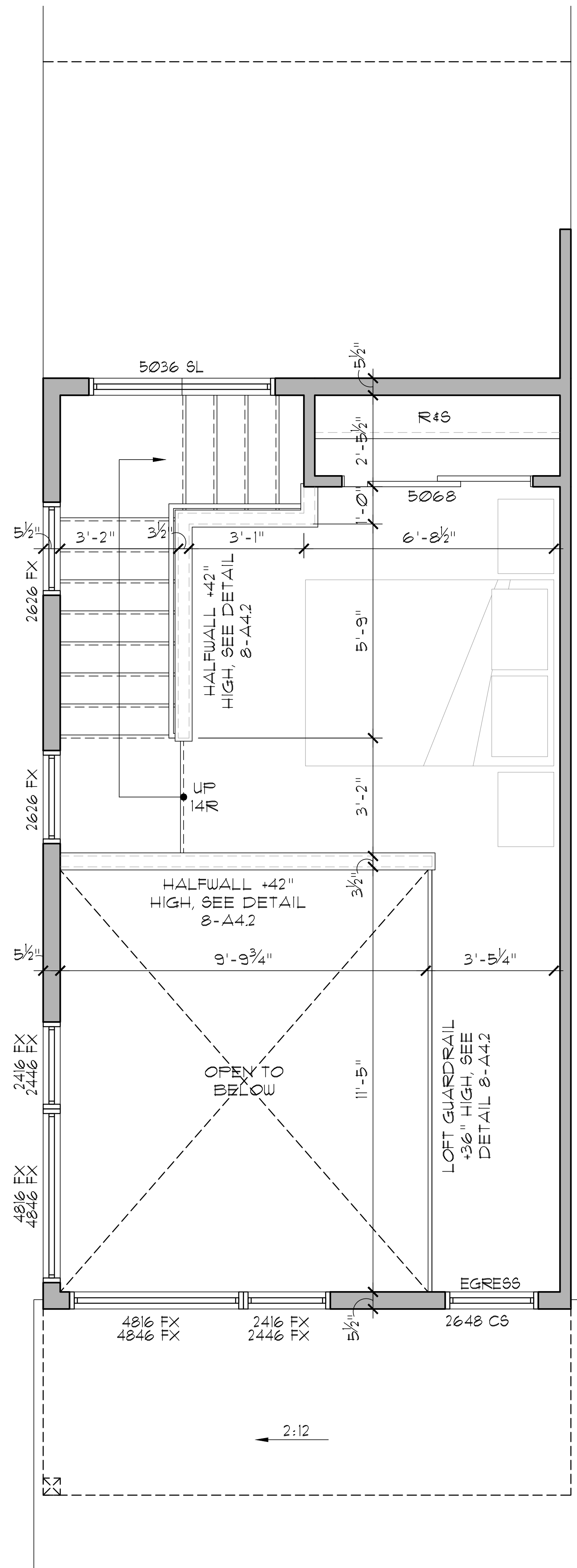
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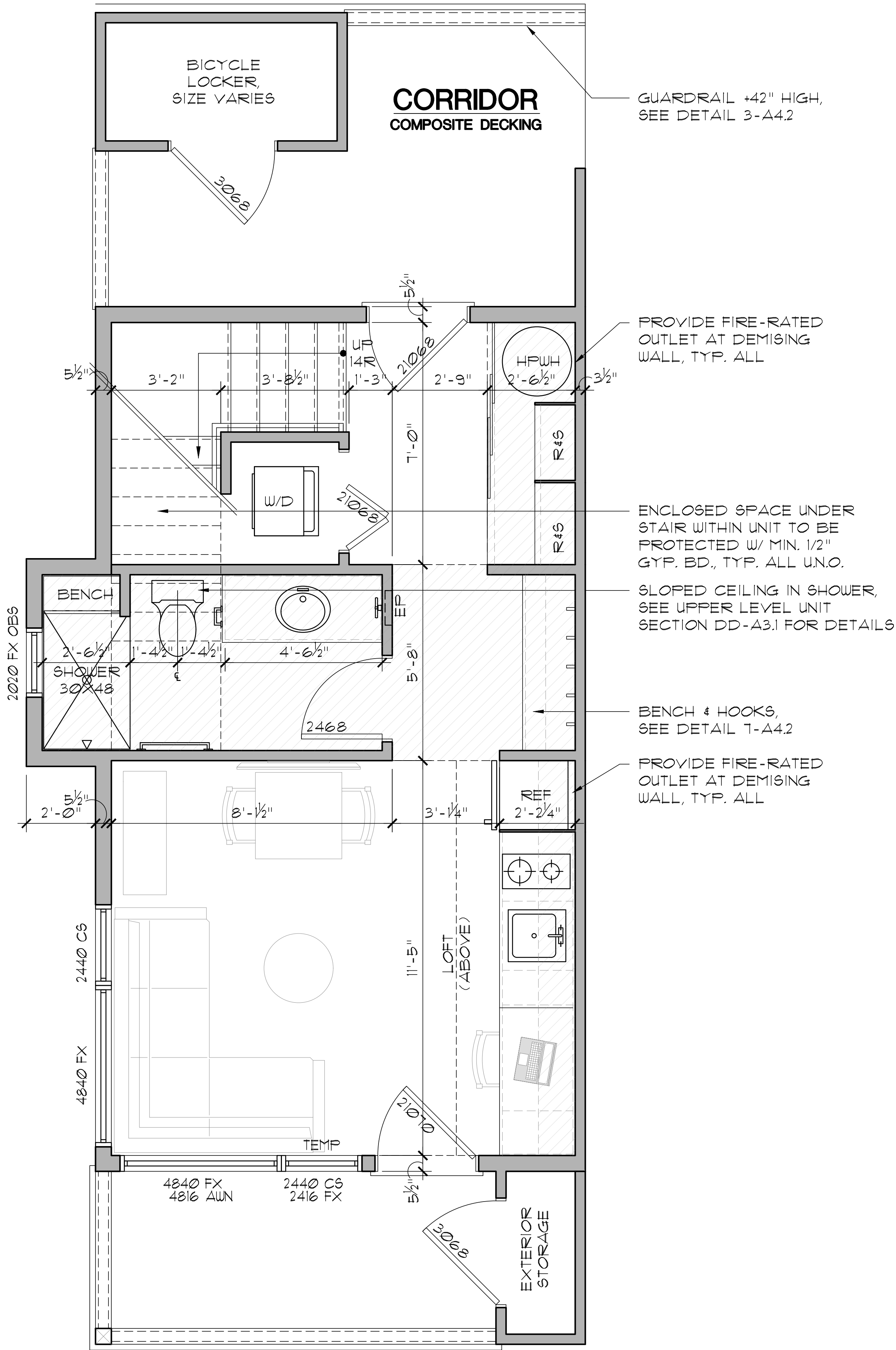
ISSUES AND REVISIONS	DATE	DESCRIPTION

UNIT PLANS  
**A5.0**  
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DATE: 02-15-2023



**UPPER LEVEL UNIT LOFT PLAN**

SCALE: 1/2" = 1'-0" (1/4" = 1'-0" @ 11x17)



**UPPER LEVEL UNIT PLAN**

SCALE: 1/2" = 1'-0" (1/4" = 1'-0" @ 11x17)



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**DEVELOPER**

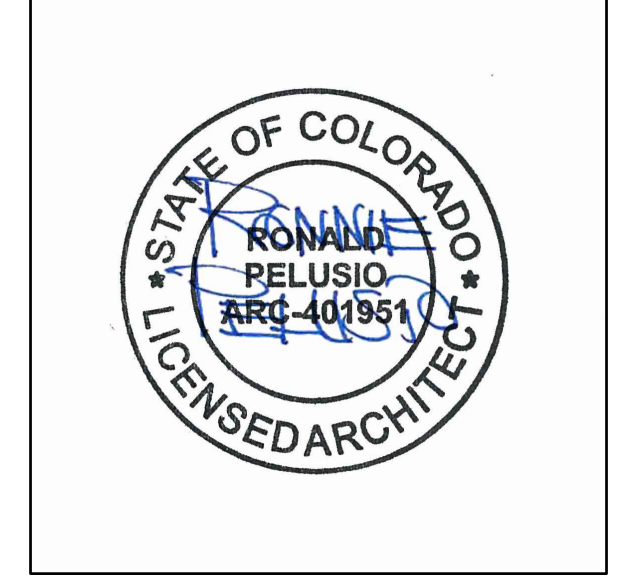
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ISSUES AND REVISIONS	DATE	DESCRIPTION

**UNIT PLANS**

**A5.1**

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